

DRAFT - ADVISORY ONLY

# HOLLYWOOD BOULEVARD DISTRICT URBAN DESIGN PLAN

Revised March 1993

Hollywood Redevelopment Project Area



Los Angeles Community Redevelopment Agency

Cover: Ornamental sculpture at the Egyptian Theatre, 6708 Hollywood Boulevard.

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Hollywood Redevelopment Plan Section 506.2.1 requires that an urban design plan be prepared by the Agency for the Boulevard District. On March 27, 1987 the Agency issued a Request for Proposals for a consultant to assist the Agency in preparing a plan. Upon selection of the consultant, an initial planning process began which included a demographic analysis of the HBD, a market study comparing the HBD to other retail areas in Los Angeles, and development by the consultant of specific recommendations to foster revitalization of the District.

Beginning in the summer of 1987, Agency staff and the consultant group began to provide the community with information generated by the surveys and market analysis and conducted five workshops to establish objectives for the drafting of the urban design plan. In October of 1988, a Draft Hollywood Boulevard District Plan was released for public review and comment. The October 1988 Draft was extensively reviewed by numerous community groups including the Hollywood Planning and Design Review Committee (HWPDR), the Project Area Committee, interested individuals, and public agencies. A formal public hearing on the October 1988 Draft was held on May 3, 1989.

In response to issues raised at the May 3rd public hearing and at the request of the HWPDR and the Council Office, the Agency established a Hollywood Boulevard "Studio" to conduct additional public workshops regarding Plan issues. Thirteen public workshops on a variety of subjects including land use and density, Hollywood Boulevard configuration, urban conservation, open space, built form, Highland Avenue, residential standards, relationship to the Hollywood Transportation Plan, and implementation were subsequently held. The plan was also discussed at regularly scheduled public meetings of the HWPDR as well as at meetings with subgroups of this committee.

A revised Draft Plan was informally circulated on May 30, 1990 for further public input. The revised May 30th Draft was reviewed at three scheduled meetings of the HWPDR. Comments received at these meetings were incorporated into the Draft Hollywood Boulevard District Urban Design Plan, which was issued to the public on September 20, 1990.

Staff distributed over 250 copies of the HBD to members of the Hollywood Community Advisory Council (HCAH), its sub-committees, the Hollywood Chamber of Commerce, public agencies, interested community and neighborhood organizations, the development community, and interested members of the general public. All comments received during the public comment period and at public hearings held in December, 1990, were analyzed by staff and recommendations for revisions to the Draft HBD were presented to the Agency Board in September 19, 1991. The Agency Board, after evaluating the recommendations, instructed staff to incorporate these revisions into a revised Hollywood Boulevard District Urban Design Plan.

This revised Hollywood Boulevard District Urban Design Plan is submitted for review and comment to the City of Los Angeles Planning Commission. Upon review and comment by the Planning Commission, this Hollywood Boulevard District Urban Design Plan, incorporating comments as necessary, will be submitted to the Los Angeles Community Redevelopment Agency Board of Commissioners for adoption, subject to City Council review and approval.



# **HOLLYWOOD BOULEVARD DISTRICT URBAN DESIGN PLAN ACKNOWLEDGEMENTS**

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**Figure 1-1**

Hollywood's future as an urban area must be based on its conservation as a legendary place from our shared past. This mural is located at Hollywood Boulevard's intersection with Wilcox Avenue.

# 1 VISION STATEMENT



## 1.0 VISION

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### Hollywood: A Boulevard Stroll

A stroll along Hollywood Boulevard twenty years from now reveals a cast of characters as diverse as any ever filmed: people walking in twos, threes, and fours; children with their parents; business people rushing from the Metro; lovers; tourists and others watching the scene go by from sidewalk tables (see Figure 1-2). Hollywood is a home for all of these people. For some it is their residence and their place of work. They may live on tree-lined streets, shop at a corner grocer (see Figure 1-3), and have a coffee with neighbors at a Boulevard cafe. For others it may be a destination for only a day or perhaps a week. Culture, history, and myth are quite visible in this future Hollywood, revealed to the resident and visitor through the sparkle of rehabilitated buildings and homes, bustling movie palaces and small theaters (see Figure 1-4).

Years ago, tourists left their buses at the Chinese Theater, took snapshots of the footprints of their favorite stars, saw a little of the Walk of Fame, and scurried back on board to leave. ~~Today~~Twenty years later a magnetic atmosphere draws people by subway and by foot far from the intersection of Hollywood and Highland, down the palm-lined Boulevard to Vine and back again. Visitors and residents explore a street where activity spills from shops onto sidewalks. Above the renovated stores, apartments overlook the Boulevard. At the community plaza, families shop for food at farmers' stalls, while others take in the scene as they rest (see Figure 1-5).

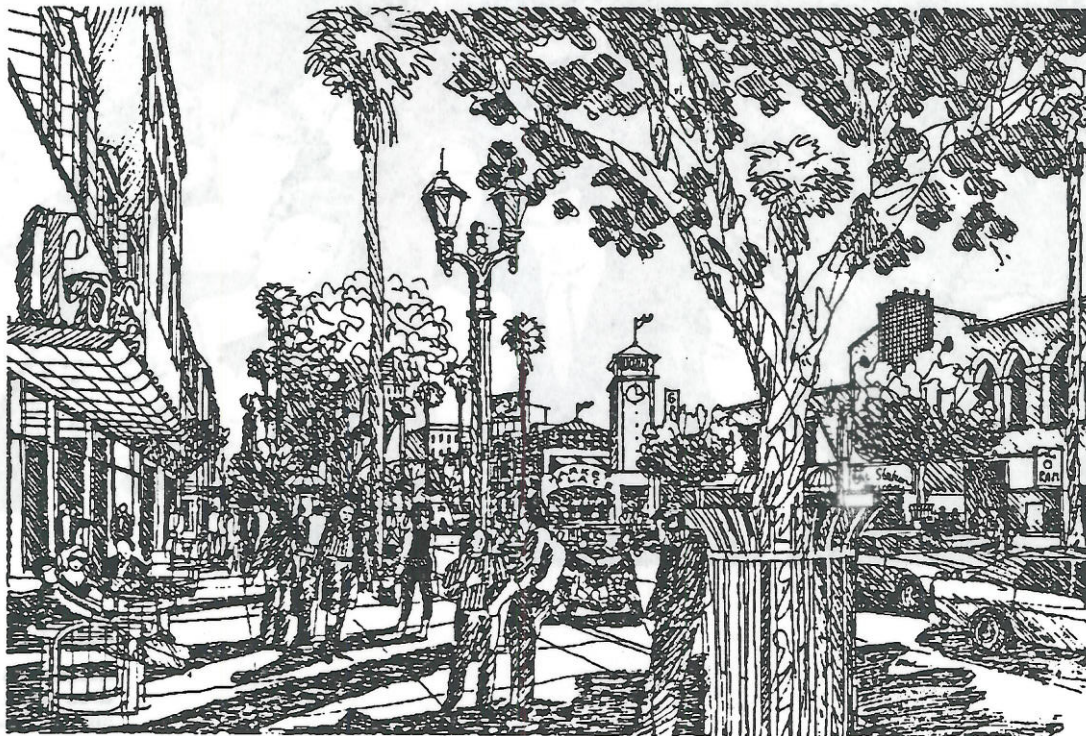


Figure 1-2

Improved sidewalks, new street trees and the use of Hollywood's historic street lamps can enliven the identity and pedestrian use of the Boulevard.



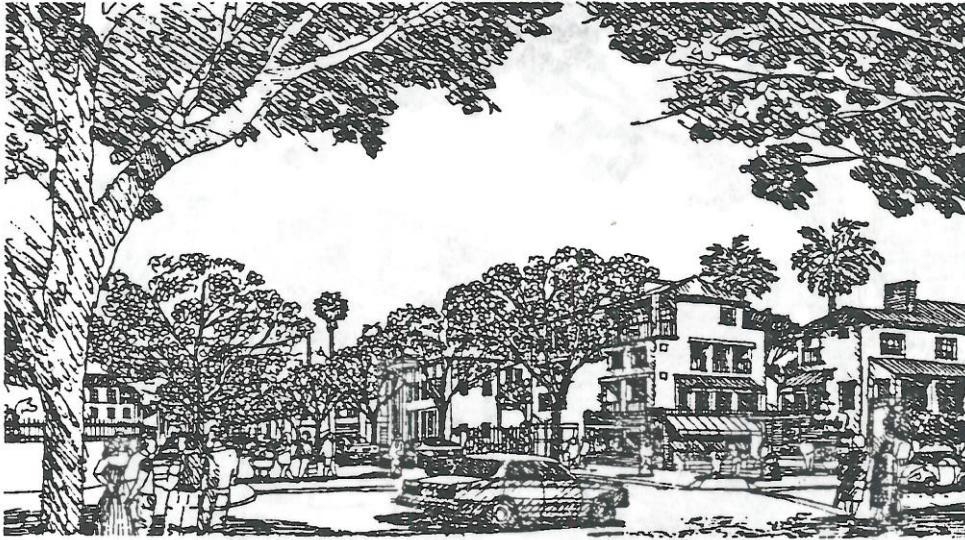


Figure 1-3  
Proposed tree lined residential streets mixing housing and neighborhood retail south of the Boulevard.

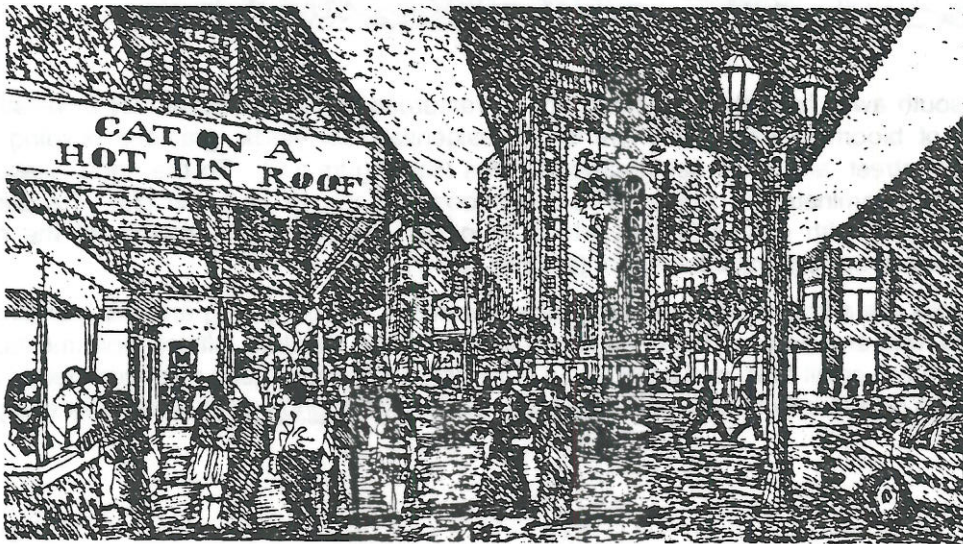


Figure 1-4  
Hollywood and Vine: the Boulevard's live entertainment district.

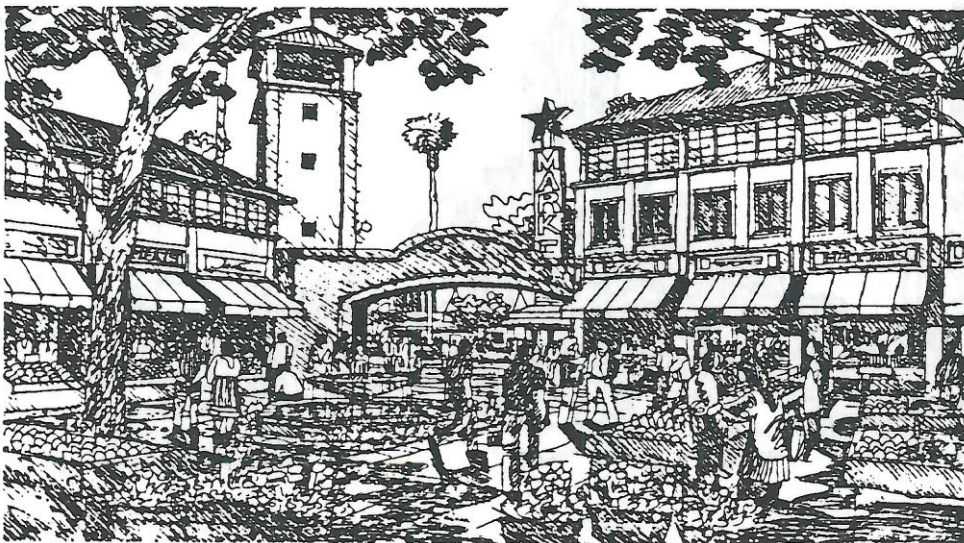


Figure 1-5  
A proposed mid-Boulevard community market is a center for neighborhood food shopping.



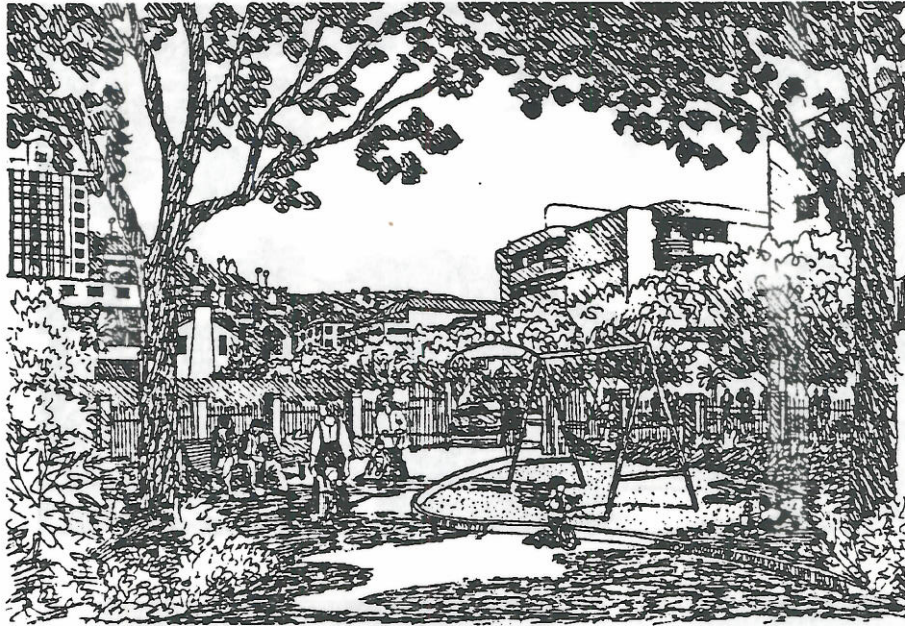


Figure 1-6  
A proposed neighborhood parks north and south of the Boulevard provide quiet focus for residential communities.

Turning north or south away from the Boulevard, the adventurous visitor discovers less travelled paths. Under the shelter of blooming trees there are small residential courtyards, gracious building entries opening towards the street, and quiet neighborhood parks (see Figure 1-6). To the north, views of the green Hollywood Hills dominate the scene. This Hollywood is a mix of new and old. Treasured old buildings keep company with new buildings, which fit in with the scale and rhythm of the old, yet acknowledge the present and embrace the future (see Figure 1-7).

Hollywood's buildings are a backdrop to activity that never ends. People young and old, rich and poor, black, brown, white, red, and yellow, share neighborhoods, cinemas, theaters, offices, apartments, parks, and sidewalks. At once a small town and a big city, a busy Boulevard and a quiet neighborhood, a chance for celebration and an opportunity for reflection, the future Hollywood is once again a place for everyone.

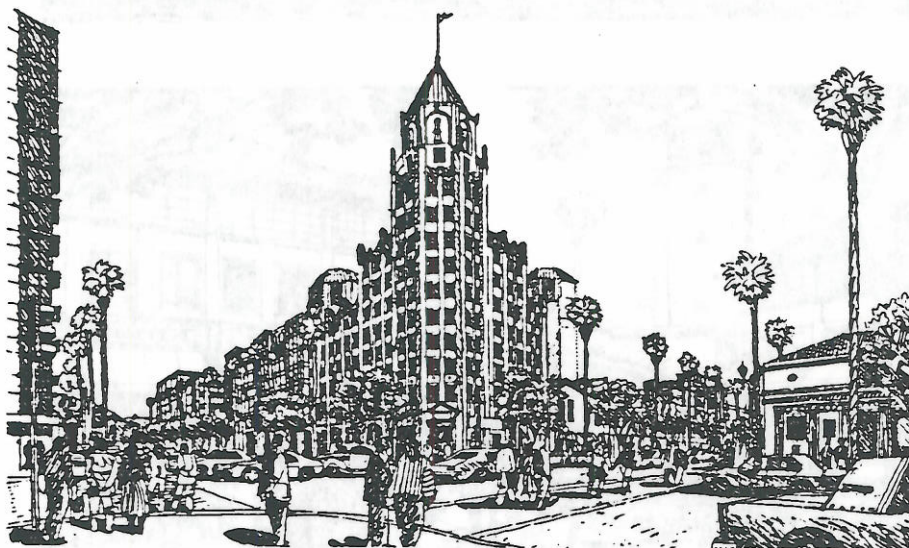


Figure 1-7  
Hollywood must be a mix of new with old.

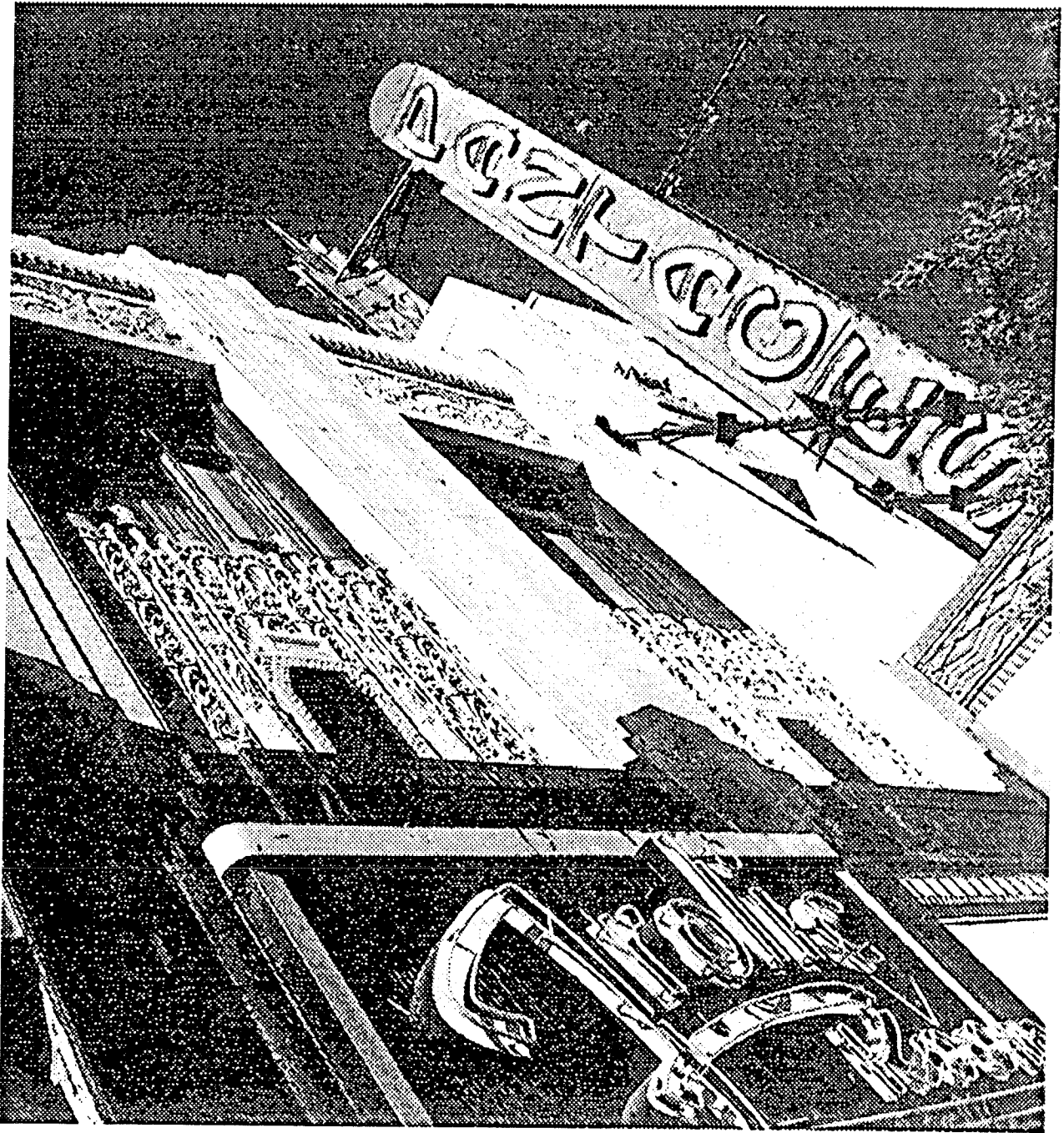


Figure 2-1

Architecturally, historically, and culturally significant buildings, such as the Pantages Theater at 6233 Hollywood Boulevard, enliven Hollywood's streets and sidewalks.

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## 2.0 EXECUTIVE SUMMARY

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### 2.1 INTRODUCTION

The world looks to legendary places to sustain its dreams, and Hollywood's legacies are the dreams of the world (see Figure 2-1). Hollywood's power as an icon is derived from eight decades of film, radio, television, and recording history. All of this century's aspirations are immortalized in the people, experiences, and buildings of this place.

The future of Hollywood as a residential, commercial and entertainment industry destination can approach the stature of the myth and the legacy. Hollywood can build upon the legends and the realities of its heritage. - By respecting their past Hollywood can - and create opportunities for people to live, work and enjoy simply being in Hollywood.

In 100 years, Hollywood's character has evolved from an independent town to a town within a city. Still, the essential qualities which have shaped this place for the past fifty years define the neighborhood. The hills still form a green backdrop. Hollywood Boulevard is still a pedestrian oriented retail, entertainment, and commercial street. People around the world still think of Hollywood as "the movies." Aspiring actors, editors, screenwriters, and directors are forever drawn to live here. People from other cultures, countries, states, and cities still gravitate to Hollywood. Many remain here all their lives. All should find a vibrant urban environment of living and working opportunities.

The emerging Southern California ideal model of a live/work community naturally fits this area as both a reflection of its founding as an independent town and a vision for a brightened future. This Plan's recommended interweaving of uses and building types within a framework of historic buildings and tree shaded sidewalks links the ideal of the streetcar suburb, common in the days of Hollywood's emergence, with the current concept of the "urban village".

The generating philosophy of this Plan is that diverse uses support balanced community development. Balanced community development attracts residents who are drawn to livable neighborhoods. Livable neighborhoods are a mixture of residential, retail, institutional, and commercial uses, old and new buildings, finely scaled open spaces and sidewalks, and opportunities for all people, regardless of income. This diversity in turn creates increased interest for visitors from across the city and the world who come to Hollywood not only to glimpse its past, but to see how it presently lives, works, and plays.

The opportunity is great. Hollywood's future as an urban area can be based on its conservation as a revered place from our shared past. The Boulevard District can be a pedestrian oasis of walkable residential neighborhoods defined by a Boulevard of historic buildings incorporating richly diverse uses. Like its famous name, Hollywood's physical setting is an enduring asset; it needs enhancement rather than redefinition.

### 2.2 EXISTING CONTEXT

#### 2.2.A. Redevelopment Plan Context

The Hollywood Boulevard District (HBD) was established upon adoption of the Hollywood Redevelopment Plan in 1986. The HBD comprises the northwestern sector of the 1,100 acre Hollywood Redevelopment Project, is located 8 miles from downtown Los Angeles, and sits at the base of the Hollywood Hills just south of the mouth of the Cahuenga Pass (see Figure 2-2). Comprising approximately one sixth of the Redevelopment Plan area, the HBD was established to:

- 1) Encourage preservation, restoration, and appropriate reuse of historically or architecturally significant resources;
- 2) Assure that new development is sympathetic to and compliments the existing scale of development;
- 3) Provide pedestrian oriented retail uses along the street level;
- 4) Encourage entertainment, theater, and tourist related uses;
- 5) Provide adequate parking for new and existing uses; and
- 6) Reinforce and enhance the existing pedestrian environment.

The HBD is generally bounded by Gower Street on the east, La Brea Avenue on the west, Hawthorne/Selma on the south, and Yucca/Franklin Street on the north, and bisected by Hollywood Boulevard.

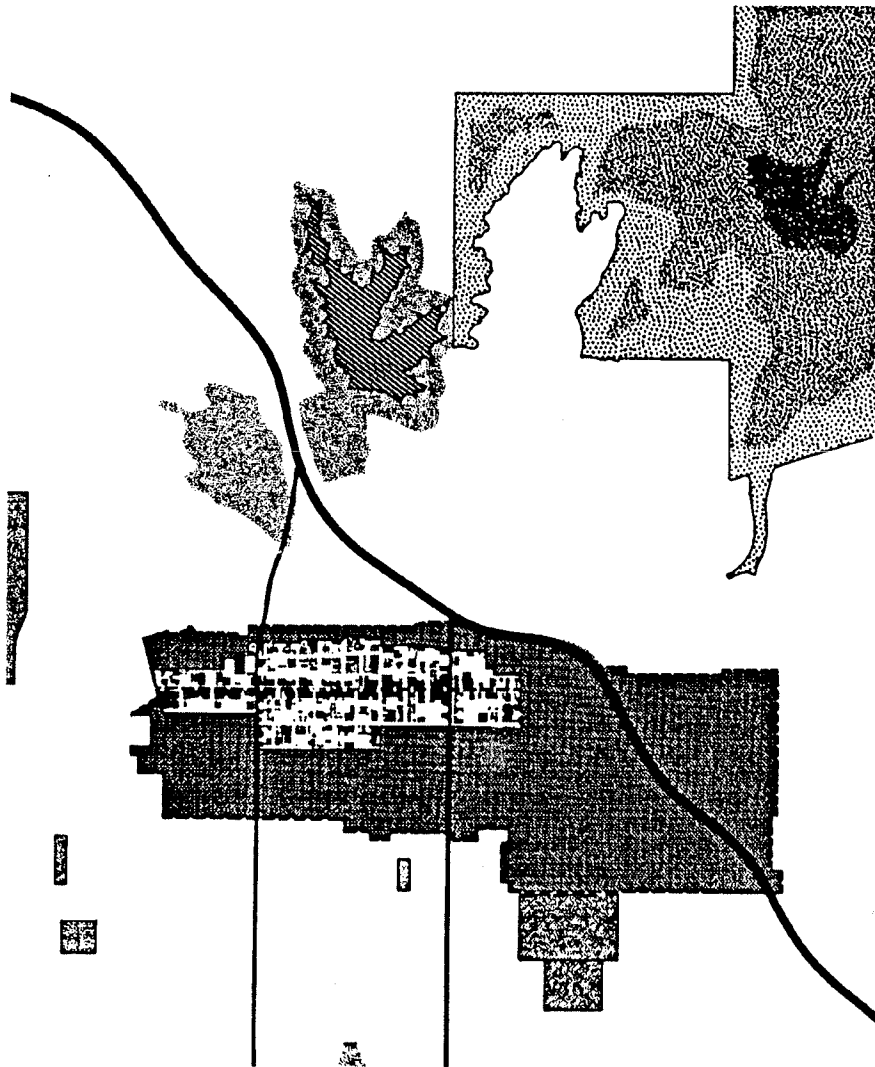


Figure 2-2  
Comprising one sixth of the Redevelopment Plan area, the Hollywood Boulevard District was established upon adoption of the Redevelopment Plan in 1986.

### **2.2.B. Existing Land Uses**

Between 1920 and 1935, Hollywood developed from a low density residential community into a commercial center supporting the motion picture industry (see Figure 2-3). Areas to the north and south remained residential. Three major commercial centers developed along Hollywood Boulevard during this period; at Cahuenga; at Vine; and at Highland.

Today Hollywood Boulevard is a linear commercial district with a mixture of high and low rise commercial buildings lined at the ground level with retail, fast food, theater, and other commercial uses. The HBD encompasses 233 gross acres of which approximately 71% are commercial, 19% residential (3,000 units), 6.5% public or quasi-public, and 3.5% industrial. A total of 8.5 million square feet of development exists. The HBD currently has a total floor to area ratio (FAR) of 1.1:1 due to the large number of surface parking lots adjacent to the Boulevard.

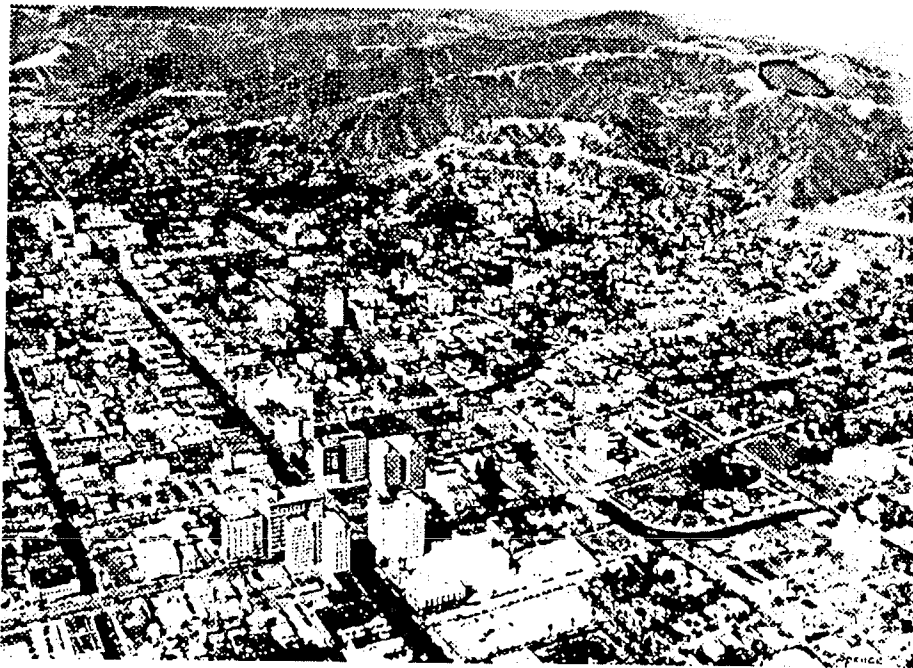


Figure 2-3  
Between 1920 and 1935 Hollywood became the motion picture capitol of the world.

### **2.2.C. Existing (1993) Community Plan and Redevelopment Plan-Land Use and Density Designations**

Both the Hollywood Community Plan and the Hollywood Redevelopment Plan have designated much of the HBD as Regional Center Commercial (equivalent to C4, C2, P, and PB zones). This land use in combination with the C4 zoning designation allows densities of 4.5:1 FAR with an ability to build up to 6:1 FAR with Agency and City Planning Commission approval.

Both plans designate a residential area north of the Boulevard as High Density Residential (80 units per gross acre).

### **2.2.D. Existing (1993) Zoning**

The city zoning for the HBD also designates most of the district land area as C4 - Regional Center Commercial - with a variety of allowed densities ranging from 1.5:1 FAR to 3:1 FAR. Densities up to 6:1 FAR may be allowed with Agency and City Planning Commission

approval. Zoning also contains a number of "Q" and "D" conditions which establish height limits and further regulate uses.

### **2.2.E. Planning Methodology**

The Hollywood Redevelopment Plan required that an urban design plan be prepared by the Agency for the Boulevard District. On March 27, 1987 the Agency issued a Request for Proposals for a consultant to assist the Agency in preparing a plan. Upon selection of the consultant, an initial planning process began which included a demographic analysis of the HBD, a market study comparing the HBD to other retail areas in Los Angeles, and development by the consultant of specific recommendations to foster revitalization of the District.

Beginning in the summer of 1987, Agency staff and the consultant group began to provide the community with information generated by the surveys and market analysis and conducted five workshops to establish objectives for the drafting of the urban design plan. In October of 1988, a Draft Hollywood Boulevard District Plan was released for public review and comment. The October 1988 Draft was extensively reviewed by numerous community groups including the Hollywood Planning and Design Review Committee (HWPDR), the Project Area Committee, interested individuals, and public agencies. A formal public hearing on the October 1988 Draft was held on May 3, 1989.

In response to issues raised at the May 3rd public hearing and at the request of the HWPDR and the Council Office, the Agency established a Hollywood Boulevard "Studio" to conduct additional public workshops regarding Plan issues. Thirteen public workshops on a variety of subjects including land use and density, Hollywood Boulevard configuration, urban conservation, open space, built form, Highland Avenue, residential standards, relationship to the Hollywood Transportation Plan, and implementation were subsequently held. The plan was also discussed at regularly scheduled public meetings of the HWPDR as well as at meetings with subgroups of this committee.

A revised Draft Plan was informally circulated on May 30, 1990 for further public input. The revised May 30th Draft was reviewed at three scheduled meetings of the HWPDR. Comments received at these meetings were incorporated into the current Draft Hollywood Boulevard District Urban Design Plan, which was issued to the public on September 20, 1990.

Staff distributed over 250 copies of the HBD to members of the Hollywood Community Advisory Council (HCAH), its sub-committees, the Hollywood Chamber of Commerce, public Agencies, interested community and neighborhood organizations, the development community, and interested members of the general public. All comments received during the public comment period and at public hearings held in December, 1990, were analyzed by staff and recommendations for revisions to the Draft HBD were presented to the Agency Board in September 1991. The Agency Board, after evaluating the recommendations, instructed staff to incorporate these revisions into the Hollywood Boulevard District Urban Design Plan.

## **2.3 GOALS**

The following Goals, formulated with community input guided the writing of this Plan. Following each goal is a summary of key Plan recommendations/provisions.



- (1) **The primary goal is to make Hollywood a community in which it is good to live and work, while recognizing that Hollywood serves regional, national, and international interests. Thus there needs to be a balance between these interests.**

Key Plan ~~recommenda~~provisions include;

- Link development capacity with existing intensity of uses throughout the District;
- ~~Establish~~A new residential neighborhood south of the Boulevard;
- ~~Establish~~Three overlapping use districts along the length of the Boulevard which encourage cinema-tourist, community retail, and live entertainment uses respectively;
- ~~Establish~~Mixed use zoning which encourages upper level residential throughout the District; and
- ~~Establish~~Land uses which encourage new entertainment production uses within the District.

- (2) **The cultural landmarks, history, and geographic setting of Hollywood comprise its greatest assets. Conservation of these resources is a primary goal.**

Key Plan ~~recommenda~~provisions include;

- ~~Establish and fund an~~A recommended urban conservation fund to facilitate rehabilitation;
- ~~Establish~~b Bonus densities for the rehabilitation of significant structures;
- Increase the density which can be transferred from the site of a significant building to create a further incentive to rehabilitate historic structures;
- ~~Establish~~a recommended District Identification Program to further mark Hollywood's historic places;
- Waive or reduce the parking requirements for historic buildings; and
- ~~Establish~~e Exterior and interior rehabilitation guidelines to provide consistent interpretation of the Secretary of the Interior's Standards.

- (3) **Hollywood is dependent on the quality of the residential areas surrounding it. The creation of a wide variety of housing choices for diverse groups is crucial for the success of this goal. Mixed-use projects emphasizing housing should be encouraged within the Boulevard District.**

Key Plan ~~recommenda~~provisions include;

- Reinforcement and establishment of residential communities north and south of the Boulevard;
- ~~Establishment of~~b Bonus densities for the provision of housing in the areas adjacent to Hollywood and Highland and Hollywood and Vine;

- ~~Creation of a~~ "Residential Mixed Use" designation which encourages the integration of neighborhood commercial with dwelling uses;
- ~~Significant~~Recommended funding for housing incentive units which promote rehabilitation of significant structures and the provision of affordable housing units;
- Creation of two neighborhood parks to provide focus to residential areas; and
- Design guidelines for residential land uses.

**(4) Transportation needs and requirements at both the local and regional levels must be balanced with the conservation of Hollywood's unique qualities, pedestrian environment, neighborhoods, and sense of community.**

Key Plan ~~recomm~~endationsprovisions include;

- ~~Widening~~Enhancement of Hollywood Boulevard sidewalks, selective sidewalk widenings, provision of new street trees, historic street lamps, and signage to improve the identity, function and amenity level of Hollywood's most important pedestrian oriented open space resource - the Boulevard;
- Coordination of the corridor improvement, neighborhood protection, parking, and transit policies of the Hollywood Transportation Plan with the goals and objectives of this Plan;
- Linkage of the Hollywood Transportation Plan vehicular trip allocation policies with the land use and density standards and guidelines of the HBD Plan;
- ~~Creation of a~~ Parking Overlay Zone to encourage the development of additional parking adjacent to the Boulevard's commercial uses; and
- Parking structure and surface parking lot design standards and guidelines.

**(5) Hollywood is a local, regional, and international center of communications, entertainment, and information generation. The industries and uses related to these themes should be emphasized.**

Key Plan ~~recomm~~endationsprovisions include;

- Bonus densities in the area adjacent to Hollywood and Vine for the provision of live entertainment uses;
- ~~Creation of a~~ "Commercial Mixed Use" zone which encourages the provision of entertainment industry uses; and
- Heightening Hollywood's identity as the entertainment capital of the world through physical improvements to Hollywood Boulevard and guidelines which encourage creative designs in keeping with Hollywood's traditional character and style.

## 2.4 SUMMARY OF PLAN RECOMMENDATIONS BY CHAPTER

### 2.4.A. CHAPTER 3 - LAND USE AND DENSITY

#### OBJECTIVES

*Reinforce Hollywood's traditional character and patterns of land use and provide increased opportunity for a variety of new uses, particularly residential, in keeping with Hollywood's promise as an urban live/work community.*

And,

*Establish densities which are compatible with Hollywood's traditional patterns of development, scale and character, while providing for intensities of use appropriate to the creation of a vital live/work urban community.*

#### OVERVIEW

Hollywood's unique character is in part derived from its vibrant mix of uses and urban yet hospitable scale which invites people to explore its streets on foot. The ~~recommendations~~provisions of Chapter 3 encourage mixed uses through much of the District by designating encouraged ground floor as well as upper floor uses. Residential uses throughout the district are encouraged as the basis for long-term community stability.

Density is keyed to completing the pattern which traditionally defined Hollywood as a livable urban place. Density bonuses are allowed for the provision of a range public benefits including live entertainment uses, rehabilitation of historic structures and housing. ~~Densities proposed for the District~~ range from 1.5:1 FAR in the northern residential areas up to 4.5:1 FAR in the traditional centers of activity at Hollywood and Vine and Hollywood and Highland.

#### RECOMMENDATIONSPROVISIONS

To achieve a mix of interactive uses and establish a land use framework for community building, five overlapping sub-districts are ~~proposed~~designated which support pedestrian vitality along the length of the Boulevard (see Figure 2-4).

- **Boulevard North and Boulevard South** - residential neighborhoods immediately north and south of the Boulevard.
- **Main Street** - a mix of local retail, residential, commercial, and entertainment uses of interest to both the adjacent residential neighborhoods and visitors.
- **Boulevard East** - Hollywood and Vine - a mixed-use live entertainment district.
- **Boulevard West** - Hollywood and Highland - a mixed-use cinema-tourist district.

To encourage a diversity of uses throughout the District four land use designations are ~~proposed~~identified.

- **Residential** - anchors the residential communities north and south of the Boulevard.
- **Residential Mixed Use** - residential integrated with ground level retail providing a pedestrian linkage to the retail intensity of the Boulevard through mixed use residential neighborhoods.

- **Commercial Mixed Use** - encouragement of entertainment oriented uses, other commercial uses and upper floor residential.
- **Boulevard Mixed Use** - along Hollywood Boulevard, Highland Avenue, and Vine Street; pedestrian active retail uses at grade level supported by encouraged residential and commercial uses above.

Existing scales and intensities of use are acknowledged through recommended density thresholds.

- **High Medium Residential** / (60 Dwelling Units per Gross Acre or 400 - 800 Square Feet of Lot Area per Dwelling Unit, whichever is less) - to the north of the Boulevard; the District's lowest residential density.
- **High Residential** / (80 Dwelling Units Per Gross Acre or 200 - 400 square feet of lot area per dwelling unit, whichever is less) - to the south of the Boulevard; higher densities support mixed use development.
- **2:1 FAR** - Main Street District - in keeping with existing scale of structures.
- **3:1 FAR** - these areas are typically already developed at these densities.
- **3:1 FAR Plus 1.5:1 FAR Density Bonus** - marked by traditional intensity of uses and the coming of Metro Rail. Bonus density allowed in exchange for a range of public benefits.

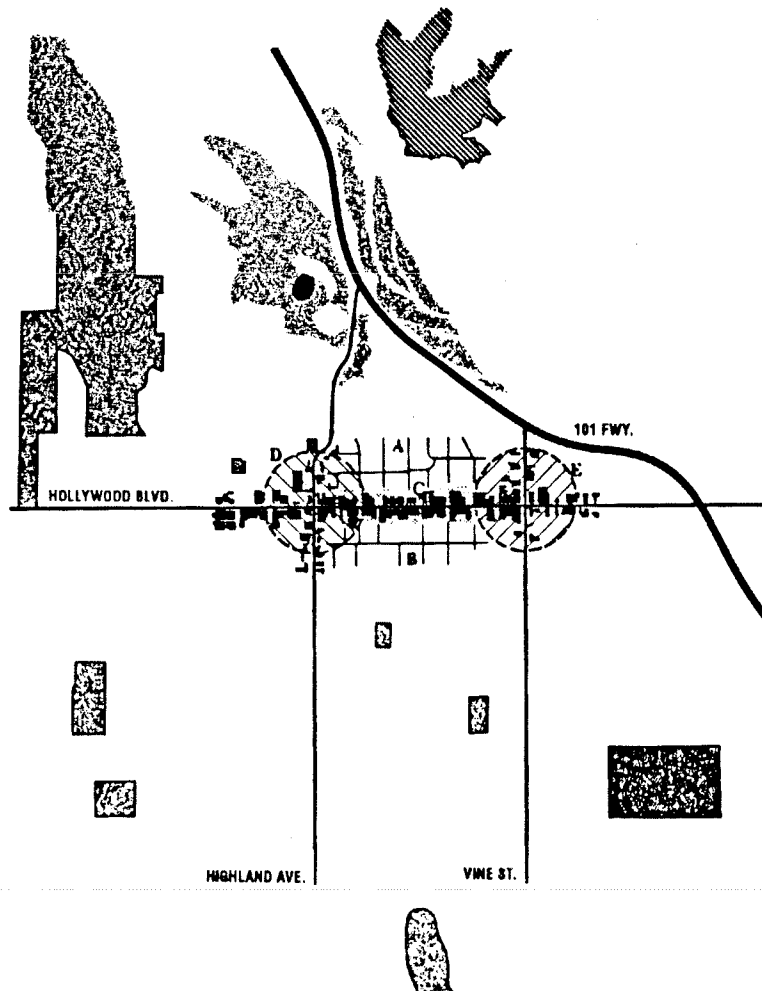


Figure 2-4

Five overlapping mixed-use districts support pedestrian vitality along the length of Hollywood Boulevard.

Subdistricts

- A Residential (Boulevard North)
- B Residential and Neighborhood Commercial (Boulevard South)
- C Retail (Main Street)
- D Cinema (Boulevard West)
- E Live Entertainment (Boulevard East)



## **2.4.B. CHAPTER 4 - URBAN CONSERVATION AND CULTURAL REVITALIZATION**

### **OBJECTIVES**

*As an integral part of Hollywood's revitalization, provide protections and incentives to promote the reuse and rehabilitation of significant residential and commercial buildings and places;*

*And,*

*Reinforce the Hollywood Boulevard District as a local, regional and national cultural center through the protection, reinforcement and development of existing and new cultural uses, facilities and the history of Hollywood.*

### **OVERVIEW**

An underlying assumption of the recommended policies, standards, and guidelines of this Plan is that Hollywood's fullest economic and physical potential as a place that people will desire to visit, work, and live will be realized through the conservation, rehabilitation, and revitalization of Hollywood's historic, architectural and cultural resources (see Figure 2-5). Preservation should be linked to community resources including its residents, the stock of affordable housing, and the small businesses which serve the area.

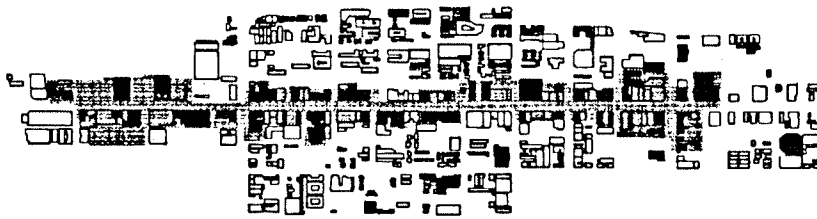


Figure 2-5

Conservation recommendations address procedures, protections, rehabilitation standards, and incentives to ensure the continued viability and use of Hollywood's historic buildings.

### **RECOMMENDATIONS PROVISIONS**

Conservation ~~recommendations~~ provisions include;

- Standardized definitions of building significance and consistent assessment procedures;
- Conservation protections;
- Rehabilitation standards based upon the Secretary of the Interior's Standards and exterior and interior rehabilitation guidelines;
- ~~Funding~~ AAA recommended urban conservation program for rehabilitation including direct and matching grants, low interest loans, and density purchases from historic sites;
- Reduced parking requirements for historic buildings;
- Designation of additional transfer density rights from historic sites;
- Recommended F funding for housing incentive units for rehabilitation; and
- A District Identification Program and self guided tour to mark Hollywood's historic places.

## 2.4.C. CHAPTER 5 - OPEN SPACE

### OBJECTIVE

*Preserve and enhance the District's primary open space network - the sidewalks and streets - and create a framework for the provision of additional public and private open space which complements the quality, character, and needs of the District, the neighborhoods, and Hollywood Boulevard.*

### OVERVIEW

The recommended policies, standards and guidelines of this Chapter enhance and reinforce Hollywood's identity as one of the best places to walk in Los Angeles. Acknowledging Hollywood's urban character, many of the proposals are directed towards improving the quality of the sidewalk experience and providing small green areas for passive recreation and observation of the passing scene. As improvements are realized, residents, workers, and visitors to Hollywood can look forward to an environment which complements the traditional streetscape and reinforces the enjoyment of this area's neighborhood, retail, commercial, and entertainment districts (see Figure 2-6).

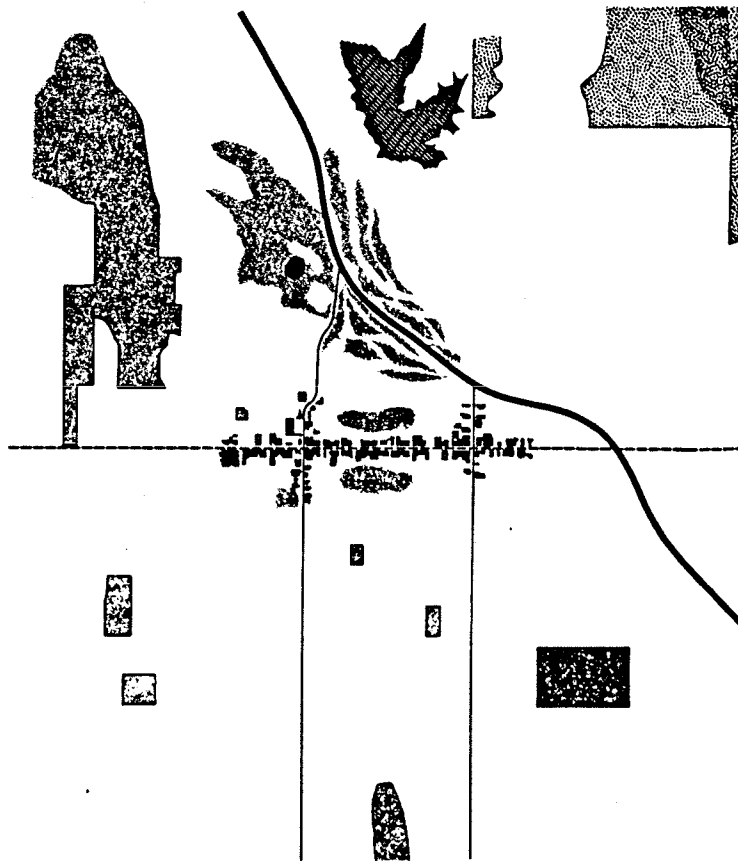


Figure 2-6

Recognizing Hollywood's urban character and its links to surrounding regional park land, open space provisions address view corridors, neighborhood parks, tree planting, vehicular and pedestrian environments, and the District's primary open space: the Boulevard.

### RECOMMENDATIONSPROVISIONS

Open space recommendations provisions include;

- The development of Highland Avenue and Vine Street as tree lined vehicular/pedestrian boulevards linking Hollywood to the surrounding region and culminating in the pedestrian intensive Boulevard;

- Upon arrival into Hollywood, the enhancement of the pedestrian quality and identity of the Boulevard through sidewalk wideningsimprovements, tree plantings, and the provision of new streetlamps, street furniture, and signage;
- A district wide tree planting program;
- The creation of neighborhood and linear street parks giving focus to the emerging Boulevard North and Boulevard South residential communities;
- Policies, standards, and guidelines for view corridors, residential landscape and surface parking lots to "green" the District; and
- The development of an open-air Community Market Plaza centered between Highland and Vine.

#### **2.4.D. CHAPTER 6 - TRANSPORTATION AND PARKING**

##### **OBJECTIVE**

*Develop a comprehensive transportation plan that balances the transportation needs of the region with the urban design objectives of the Hollywood Boulevard District.*

##### **OVERVIEW**

This Chapter integrates the objectives and ~~recommended~~ programs of the Hollywood Transportation Plan (HTP) with the HBD's urban design polices, standards and guidelines. The HTP ~~recommends~~describes a program of phased transportation improvements throughout the Redevelopment Plan area to mitigate the increased number of vehicular trips projected to occur due to market driven growth over the next twenty years. Though an increased amount of regional traffic will pass through Hollywood as the region grows, the HTP generally avoids street widening recommendations within the Boulevard District and stresses transportation management and improved efficiency of existing roadways (see Figure 2-7). The HTP includes the following components;

- **Roadway Improvement Component** - improves the capacity of streets through selective widenings;
- **Neighborhood Protection Component** - protects neighborhoods from through traffic;
- **Transportation Demand Management Component** - encourages the use of alternative transportation modes such as ridesharing;
- **Transit Component** - encourages increased transit ridership; and
- **Short and Long Range Parking Component** - ensures that future parking needs are met.
- **Pedestrian Environment Component** - reinforces the quality of the pedestrian experience.

The HBD Plan presents a vision and standards for the revitalization of the Boulevard District, placing particular emphasis on sidewalk and street enhancements which improve the character, use and scale of the District's pedestrian environment.



## RECOMMENDATIONS PROVISIONS

Transportation and Parking ~~recommmendations~~ provisions include;

- Linking review of the land use and density assumptions of the HBD to the development of a new transportation plan upon allocation of 70% of the allowed vehicle trips.
- Allocating ~~and~~ reserves vehicle trips for 100% of the market projected new residential units in the District;
- Identifications of future parking needs and potential public parking sites within the Boulevard District and ~~through the HTP~~ provides provision of recommended funding for these structures;
- Recommended Reduced or waived parking requirements for rehabilitated significant structures and neighborhood commercial in Residential Mixed Use areas; and
- Policies, standards and guidelines which improve the quality of the pedestrian sidewalk experience throughout the HBD.

For a complete review of the transportation policies ~~and recommendations~~ the Hollywood Transportation Plan should be consulted.

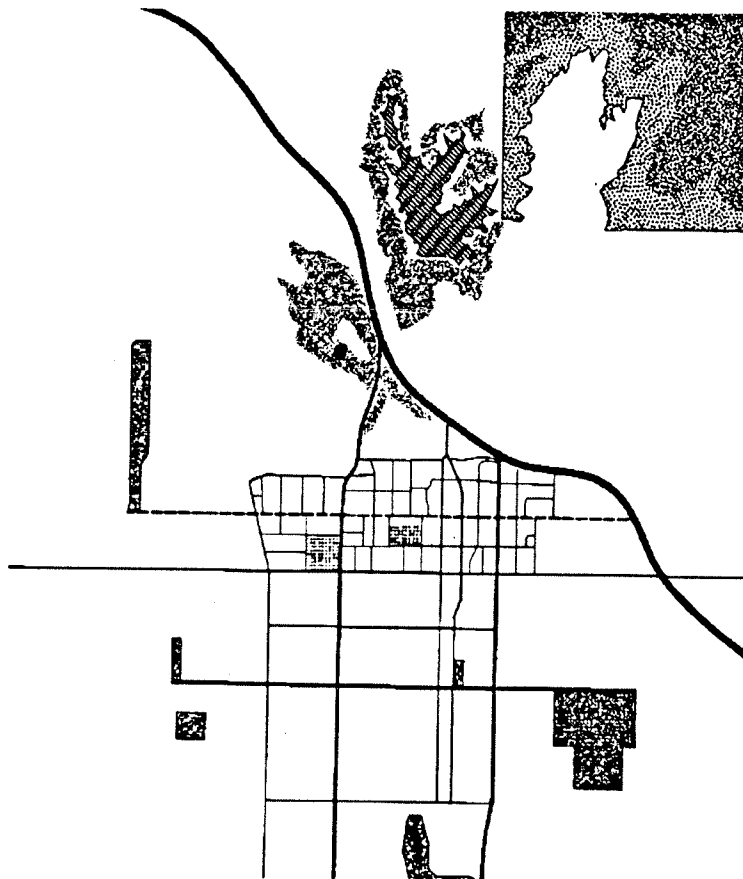


Figure 2-7

The enhancement of the pedestrian environment is emphasized throughout this plan.

## **2.4.E. CHAPTER 7 - BUILT FORM**

### **OBJECTIVE**

*Ensure that all new and infill development is compatible and in harmony with the character, scale, height, massing, siting and architectural articulation of Hollywood's historic districts and buildings.*

### **OVERVIEW**

Observation and an appreciation of Hollywood's recurring architectural themes and existing built form patterns inform the built form policies, standards, and guidelines of this Plan (see Figure 2-8). Hollywood's buildings have several dominant characteristics including;

- Solid masonry or masonry-like walls with individual windows set into the walls;
- Major and minor vertical bays articulated by horizontal divisions;
- Strongly expressed bases, or architecturally detailed lower floors which relate the scale of the building to the pedestrian at the sidewalk;
- Entries and storefronts which are directly oriented to the sidewalk;
- Creative signs which are coordinated with the underlying rhythm, scale and modulation of the architecture;
- Light and earth toned colored walls which brilliantly reflect the California sunlight and stand out against the darker hue hills; and
- Numerous and sometimes fanciful roof shapes, pylons, towers and skyline signs marking building tops.

An understanding of these traditional forms of pattern making should guide the property owner, architect, and developer when designing buildings in the District.



Figure 2-8

Hollywood's sense of place is defined by the existing features and patterns of its physical environment.

### **RECOMMENDATIONS PROVISIONS**

Built form ~~reco~~recomme~~ndations~~ndations provisions include;

- Height standards related to the Hollywood's existing pattern of heights;
- Built form policies, standards, and guidelines based upon observation of the architecture of existing residential and commercial structures;
- Setback standards which maintain the integrity of the existing streetwalls;
- Storefront design guidelines which encourage the design of shopfronts which invite window shopping;

- Guidelines relating parking structure design to the architecture of existing buildings.
- Standards and guidelines for the use of materials, colors and creative signage.

#### **2.4.F. CHAPTER 8 - DESIGN REVIEW AND PERMIT PROCESS**

##### **OBJECTIVE**

*Establish design review and permit review procedures which are timely, consistent, equitable, and understandable and which forward the policies, standards, and guidelines of this Plan.*

##### **OVERVIEW**

The Los Angeles Community Redevelopment Agency is responsible for reviewing building permit applications issued by the City of Los Angeles for conformance with the Hollywood Redevelopment Plan, and upon adoption as a Design(s) for Development, this Plan. Additionally, within redevelopment areas, the Agency reviews all projects for compliance with the California Environmental Quality Act (CEQA). A consistent design review and permit review process encourages conformance to the policies, standards, and guidelines of the HBD Plan while ensuring timely community advisory input to the Agency.

##### **RECOMMENDATIONS PROVISIONS**

Design Review and permit review ~~recommendations~~ provisions include;

- ~~The~~ Recommended delegation by the Hollywood Community Advisory Committee (HCAC) of planning and design review issues to ~~the~~ a Hollywood Planning and Design Review Committee (HWPDR);
- The forwarding by the HWPDR of advisory recommendations to the HCAC ~~and which in turn forwards them to the Agency Board;~~
- Community design review for projects which meet standard thresholds;
- Two-step community design review and requirements for consistent and timely review; and
- Community design review parallel to CEQA review.

#### **2.4.G. ~~CHAPTER 9 - IMPLEMENTATION~~**

##### **OBJECTIVE**

~~Establish a program for the effective implementation, prioritization and funding of the recommendations, policies, standards, and guidelines of the Hollywood Boulevard District Urban Design Plan.~~

##### **OVERVIEW**

~~This Chapter delineates a program to implement the policies, standards and guidelines of this Plan, estimates the hard costs in 1990 dollars to realize proposed improvements and identifies a range of potential funding sources including but not limited to CRA tax increment funds, City Capital Improvement Funds, public benefit fees and assessment districts. Many of this Plan's proposals, such as the built form and land use standards,~~

should be implemented through the adoption by the Agency of one or more Design(s) for Development and the City of one or more City ordinance(s).

Tax increment funds are expected to be a major source of revenue helping to underwrite the \$85,000,000 of improvements called for by this Plan. However, tax increment generation is dependent upon successful revitalization and development beginning in Hollywood. Towards this end, a five year Phase I program is proposed to realize an immediate and positive impact on the visual character, identity, uses and management of the Boulevard, thereby providing one of the seeds for Hollywood's balanced resurgence.

## RECOMMENDATIONS

Implementation recommendations include;

• ----- A five step implementation program as follows;

**Step 1** - Adopt the Plan as a Design(s) for Development and City Ordinance(s)/Outreach/Coordinate

**Step 2** - Establish Permanent Hollywood Redevelopment Work Objectives

**Step 3** - Establish Five Year Phase I Hollywood Boulevard District Work Program

**Step 4** - Monitor the Plan

**Step 5** - Phase II Work Program

• ----- Creation of five permanent HBD work objectives as follows;

1. ----- Hollywood Boulevard District Implementation - general implementation objective

2. ----- Hollywood Boulevard Improvements - to realize the Boulevard improvements called for by this Plan

3. ----- Hollywood Boulevard District Open Space - acquisition and development of public parks

4. ----- Hollywood Boulevard District Street Tree Improvements - to plant trees throughout the District

5. ----- Hollywood Boulevard District Urban Conservation - programs and projects which provide for the rehabilitation of the District's significant resources

• ----- Creation of an initial five year Phase I program including;

----- Support for a Hollywood Boulevard Association;

----- Pilot Boulevard sidewalk widening and improvement program;

----- Development of a neighborhood park south of the Boulevard;

----- Planting of street trees throughout the District;

----- Rehabilitation of significant structures in the Main Street District;

----- Funding of Housing Incentive Units in Boulevard North and Boulevard South; and

----- Development of a mixed use parking structure in the Main Street District.



Collectively, the recommended policies, standards, guidelines, programs and incentives of this Plan ensure the dream and integrity of place that is Hollywood for future generations.

## **2.4.G HOLLYWOOD BOULEVARD DISTRICT URBAN DESIGN PLAN IMPLEMENTATION PROGRAM**

### **OBJECTIVE**

Establish a program for the effective implementation, prioritization and funding of the recommendations, policies, standards and guidelines of the Hollywood Boulevard District Urban Design Plan.

### **SUMMARY**

The Hollywood Boulevard District Urban Design Plan Implementation Program (Implementation Program) is a separate document which outlines the steps and programs which should be undertaken by the Community and the Agency to realize the goals and objectives of the HBD. The Implementation program builds upon the policies, incentives and tax increment funding potential of the thirty year Hollywood Redevelopment Plan.

The Implementation Program outlines five key steps and an implementation timeline towards the establishment of a stable regulatory environment and financial incentives for constructive revitalization. These include the following (see also Figure 2-9):

- Step 1 - Adopt the HBD as a Design for Development;
- Step 2 - Establish a Hollywood Boulevard District Work Objective;
- Step 3 - Establish a Phase I Hollywood Boulevard District Work Program;
- Step 4 - Monitor the Plan on an Annual Basis; and
- Step 5 - Establish a Phase II - Hollywood Boulevard District Work Program

Additionally, the Implementation Program outlines programs which have been established since the adoption of the Hollywood Redevelopment Plan to both address the issues which have discouraged renewal in Hollywood and encourage economic development, preservation, cultural revitalization, provision of social needs and development of affordable housing. The Implementation Program further emphasizes that flexibility from the guidelines, standards and provisions of the HBD should be considered by the Community and the Agency in exceptional circumstances in accordance with Hollywood Redevelopment Plan Section 521.

Together, the HBD and the Implementation Program establish a basis for economic and physical renewal. If you or your organization have a dream for Hollywood, review the goals and objectives of the HBD and the programs contained within the Implementation Program. Compare your dream to the vision of the HBD and develop a proposal for Hollywood's future. Finally, contact at your earliest convenience the Agency's Hollywood Project Office and tell them about your dream and ask them how they can assist you, your organization or company in creating tomorrow's Hollywood.

**FIGURE 2-9**  
**SUMMARY MATRIX OF**  
**THE HOLLYWOOD BOULEVARD DISTRICT URBAN DESIGN PLAN**  
**IMPLEMENTATION STEPS**

	IMPLEMENTATION STEP	CRA COMMITMENT TO DATE	IMPLEMENTATION TIMELINE (YEAR)
<b>STEP 1</b>	<b>Adopt HBD as a Design for Development</b> 1.1.A Adopt HBD Plan as a Design for Development 1.1.B Communicate HBD Requirements and Programs to Public and Private Sectors 1.1.C Establish Interdepartmental Task Force 1.1.D Coordinate HBD Recommendations with City of Los Angeles Capital Improvements Program (C.I.P.) 1.1.E Coordinate HBD Guidelines and Standards with Hollywood Community Plan and Appropriate Los Angeles Zoning Ordinances	Staff Staff Staff Staff	
<b>STEP 2</b>	<b>Establish Hollywood Boulevard District Work Objective</b> 1.2.A Distribute HBD Community Outreach Materials and Programs 1.2.B Coordinate HBD Programs with other City, State, and Federal Departments and Agencies 1.2.C Implement the Standards, Guidelines and Programs of the HBD 1.2.D Coordinate Ordinances 1.2.E Monitor Boulevard District Implementation Programs and Policies 1.1.F Establish TFAR Valuation Task Force 1.1.G Community Design Review of Proposed Projects	Staff and Materials Staff Staff Staff Staff Staff	
<b>STEP 3</b>	<b>Establish Phase I - Hollywood Boulevard District Work Program</b> 1.3.A Support Fiscally Independent, Professionally Staffed Hollywood Boulevard Association 1.3.B Plant Street Trees throughout the Hollywood Boulevard District 1.3.C Develop Final Design and Specifications for Hollywood Boulevard Improvements 1.3.D Hollywood Boulevard Street Improvement Pilot Project 1.3.E Acquisition, Design and Development of Neighborhood Park South of Hollywood Boulevard 1.3.F Rehabilitation of Historic Structures 1.3.G Development of Affordable Housing over Public Parking 1.3.H Development of Housing Incentive Units 1.3.J Development of Well Designed and Landscaped Surface Parking Lot 1.3.K Distribute Request for Proposals for Development of Community Market Plaza 1.3.L Develop Public Signage Program and Self-Guided Tour	Staff + \$100,000 Staff + \$316,000 Staff + \$600,000 Staff + \$4.4 million Staff + \$500,000 Staff + \$1.5 million Staff + \$250,000 Staff + \$150,000	
<b>STEP 4</b>	<b>Monitor the Plan</b> 1.4.A Review Current and Proposed HBD Work Programs and Projects 1.4.B Review All CRA Assisted Projects within the District 1.4.C Monitor All Permit Activity 1.4.D Monitor Linkage between HBD and the Hollywood Transportation Plan 1.4.E Review Effectiveness of HBD Guidelines and Standards, Proposes Changes as Appropriate	Staff Staff Staff Staff	
<b>STEP 5</b>	<b>Establish Phase II - Hollywood Boulevard District Work Program</b> 1.5.A Fund Urban Conservation Programs 1.5.B Reconstruct Hollywood Boulevard 1.5.C Acquisition, Design and Development of Neighborhood Park North of Hollywood Boulevard 1.5.D Fund Housing Incentive Units 1.5.E Develop Two Street Parks 1.5.F Develop Community Market Plaza		

Note: For a complete description of implementation programs see the Hollywood Boulevard Urban Design Plan Implementation Program.



Figure 3-1

Hollywood Boulevard's complex pattern of scales and uses is reinforced by the land use and density provisions of this Plan.

### 3

## LAND USE AND DENSITY

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**3.0 LAND USE AND DENSITY  
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### 3.0 LAND USE AND DENSITY

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#### OBJECTIVES

*Reinforce Hollywood's traditional character and patterns of land use and provide increased opportunity for a variety of new uses, particularly residential, in keeping with Hollywood's promise as an urban live/work community.*

And,

*Establish densities which are compatible with Hollywood's traditional patterns of development, scale and character, while providing for intensities of use appropriate to the creation of a vital live/work urban community.*

#### 3.1 OVERVIEW

During its century long march from farmtown to "tinseltown", Hollywood has continuously evolved, leaving at each stage reminders of its past. Close observation of the Hollywood Boulevard District's urban patterns - the places people work, play, live, walk and drive; the places where goods and services are sold; the scale and mass of the buildings and places - reveals a complex urban pattern that is at once a downtown and a quiet residential neighborhood; a boulevard lined with shops juxtaposed with tree lined residential streets; a tourist destination and a home (see Figure 3-1).

The reinforcement and encouragement of a mix of uses is particularly appropriate within this context. This Plan begins by nurturing the existing character of this area's streets, places and districts through land use and density recommendations guidelines and standards.

To achieve a mix of interactive uses and establish a land use frame work for community building, five overlapping sub-districts which complement each other and support continuous pedestrian vitality along the entire length of the Boulevard are proposed identified as follows (see also Figure 3-2). For planning and discussion purposes the boundaries of these sub-districts are delineated in Figure 3-3.

- **Boulevard North and Boulevard South** - residential neighborhoods, immediately north and south of the Boulevard, support the development of the Boulevard District as a live/work community, buttress the creation of additional neighborhood oriented retail, and reinforce through additional residents the community's voice and commitment regarding the Boulevard's future.
- **Main Street** - from Ivar Street to Las Palmas Avenue along Hollywood Boulevard, the Boulevard District's community center - a mix of local retail, residential, commercial and entertainment uses, of interest to both the adjacent neighborhoods and visitors, is encouraged.
- **Boulevard East** - Hollywood and Vine - reestablishes and encourages an intense live entertainment district mixed with a variety of commercial, retail and residential uses.
- **Boulevard West** - Hollywood and Highland - celebrates Hollywood's traditional association with the movies and entertainment, mixing cinemas, retail, and housing.

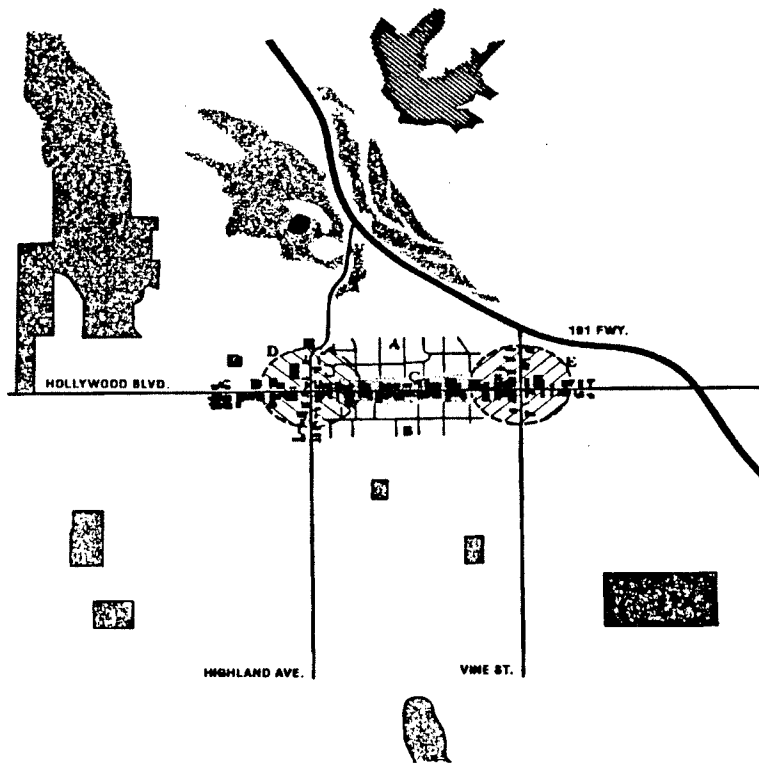


Figure 3-2

Land Use and Density is based on the Boulevard's existing overlapping uses.

Subdistricts

- A Residential (Boulevard North)
- B Residential and Commercial (Boulevard South)
- C Retail (Main Street)
- D Cinema (Boulevard West)
- E Live Entertainment (Boulevard East)

~~Four~~Five recommended density zones further articulate and differentiate the character of the five identified subdistricts (see Figure 3-11). In Boulevard East and Boulevard West, traditional locations of Hollywood's greatest commercial activity, bonus densities are recommended may be granted by the Agency for additional housing, the provision of live entertainment uses, rehabilitation of the District's significant structures, and the provision of off site open space. Within the Main Street subdistrict, lower densities ensure that the existing historic scale will be maintained. In Boulevard North the ~~recommended~~-density provisions allow for the creation of housing types incorporating open space, beginning the transition from the Boulevard District to the hillside communities. In Boulevard South the ~~recommended~~-density provisions and density bonuses encourage the creation of a residential urban neighborhood with a mix of neighborhood retail uses.

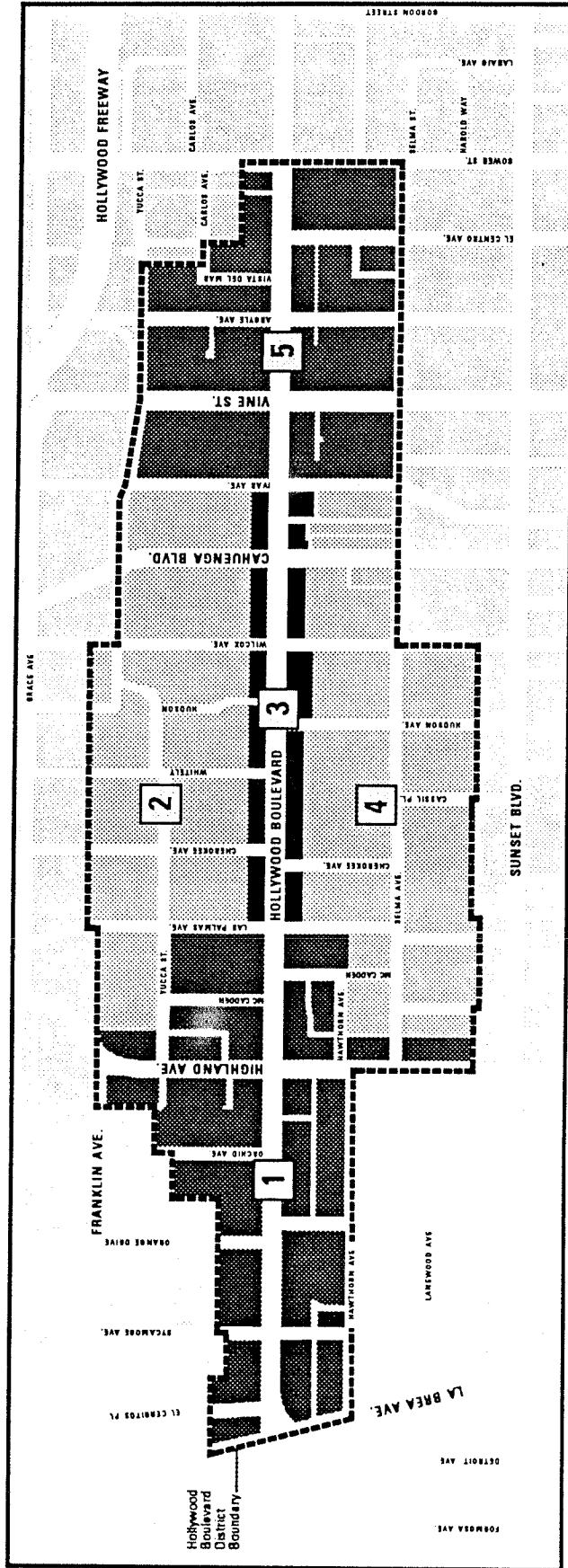
~~Other recommendations~~-goals of this ~~Chapter~~ the land use and density provisions of this Plan include;

- Encouragement of mixed uses projects;
- Encouragement of parking uses supporting Boulevard retail;
- Encouragement of entertainment production uses; and
- Reduced parking requirements for neighborhood retail uses.

Hollywood's diversity of residents, businesses, various scaled buildings, and myriad intensities of street life are remarkable. This remarkable Hollywood character is the genesis of the following recommendations standards and guidelines.

Figure 3-3

Boulevard Subdistricts Map



Legend

- 1 Boulevard West
- 2 Boulevard North
- 3 Main Street
- 4 Boulevard South
- 5 Boulevard East



### 3.2 LAND-USE DESIGNATIONS AND STANDARDS

This Plan ~~recommends the establishment of~~establishes four land use designations (see Figures 3-4 and 3-5);

- Boulevard Mixed Use,
- Commercial Mixed Use,
- Residential Mixed Use, and
- Residential.

These designations provide for an interweaving of uses supportive of a vibrant and varied urban community. The ~~recommended~~ land use designations are also typically differentiated by defining permitted, encouraged and restricted ground and upper floor uses. Bonus densities ~~are recommended~~ may be granted by the Agency for neighborhood oriented retail, residential, and live entertainment uses. ~~The Agency is currently developing an Economic Development Strategy which will make additional recommendations to encourage desirable uses throughout the redevelopment area.~~

#### 3.2.A. Boulevard Mixed Use (See Figure 3-4 and 3-5)

The Boulevard Mixed-Use designation encourages sidewalk oriented retail uses that support the pedestrian activity of the Boulevard, Highland Avenue and Vine Street (see Figure 3-6 and Figure 3-7). The Boulevard Mixed Use designation also permits a variety of commercial uses, limits ground floor sidewalk frontage for non-pedestrian active uses and encourages retail uses appropriate to the existing character of the Boulevard East, Boulevard West and Main Street subdistricts.

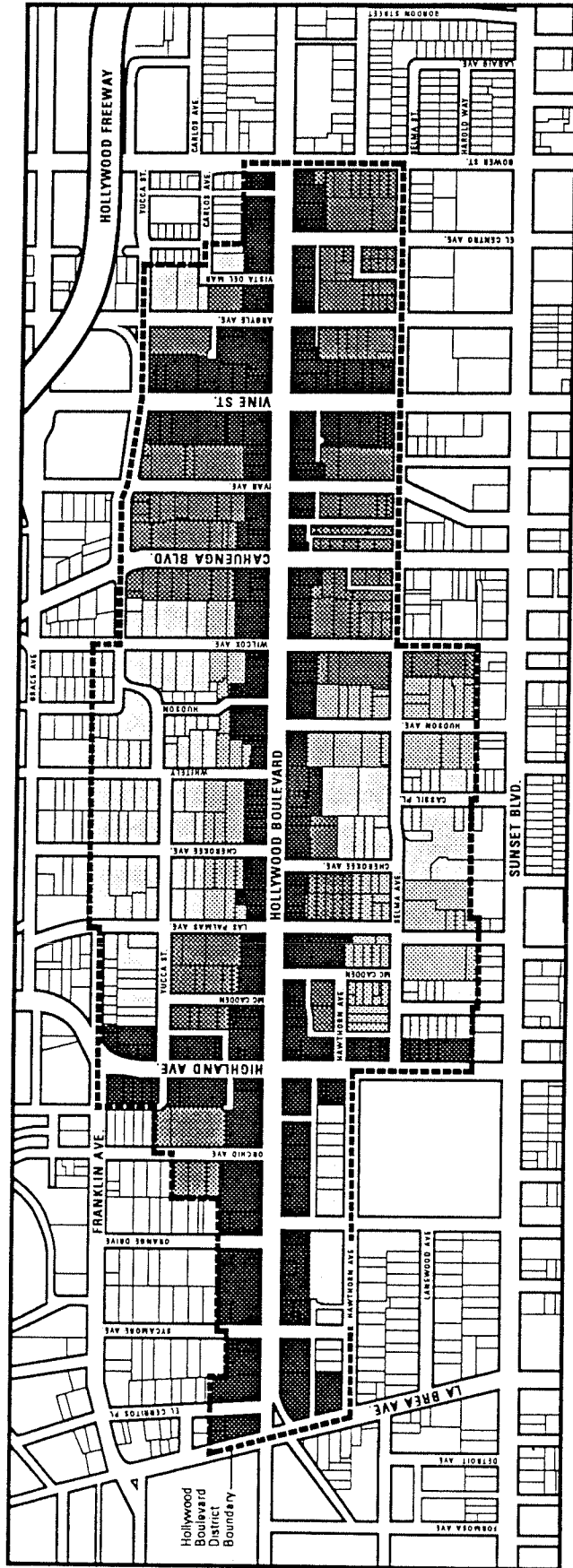
##### 1. Permitted Uses

The following uses are ~~recommended~~allowed.

- Ground Floor - As indicated in Table 3-1, All retail, entertainment, performance, exhibit, and dining uses allowed within the City of Los Angeles' Regional Commercial land use designation and the C4, C2, P, and PB zones shall be permitted, with restrictions (Permitted, encouraged, and restricted uses for each land use designation in this Plan are detailed in Table 3-1. In addition, a complete list of uses permitted in the City of Los Angeles C4 zone and C2 zone, which includes uses listed in the C1.5, C1, and CR zones, and PB and P zones, can be found in Appendix 3-A(see Table 3-2)). These Encouraged uses include, but are not limited to, retail shops, restaurants, cinemas, theaters, amusement establishments, galleries, museums, public displays, and cafes.
- As indicated in Table 3-1, All office, service, active recreation, dwelling and other uses permitted within the Regional Commercial land use designation and the C4, C2, P and PB zones shall be permitted allowed on the ground floor but shall be limited to 30 feet of public sidewalk frontage for a depth of the first 40 feet of depth perpendicular to the sidewalk, and shall be separated a minimum have at the sidewalk frontage a minimum horizontal separation of 100 feet from a similar use at the sidewalk levels. These restricted uses at the ground floor include, but are not limited to professional offices, appliance repair, medical laboratory, hotel, and residential and other related uses.

Figure 3-4

Land Use Designations at Grade

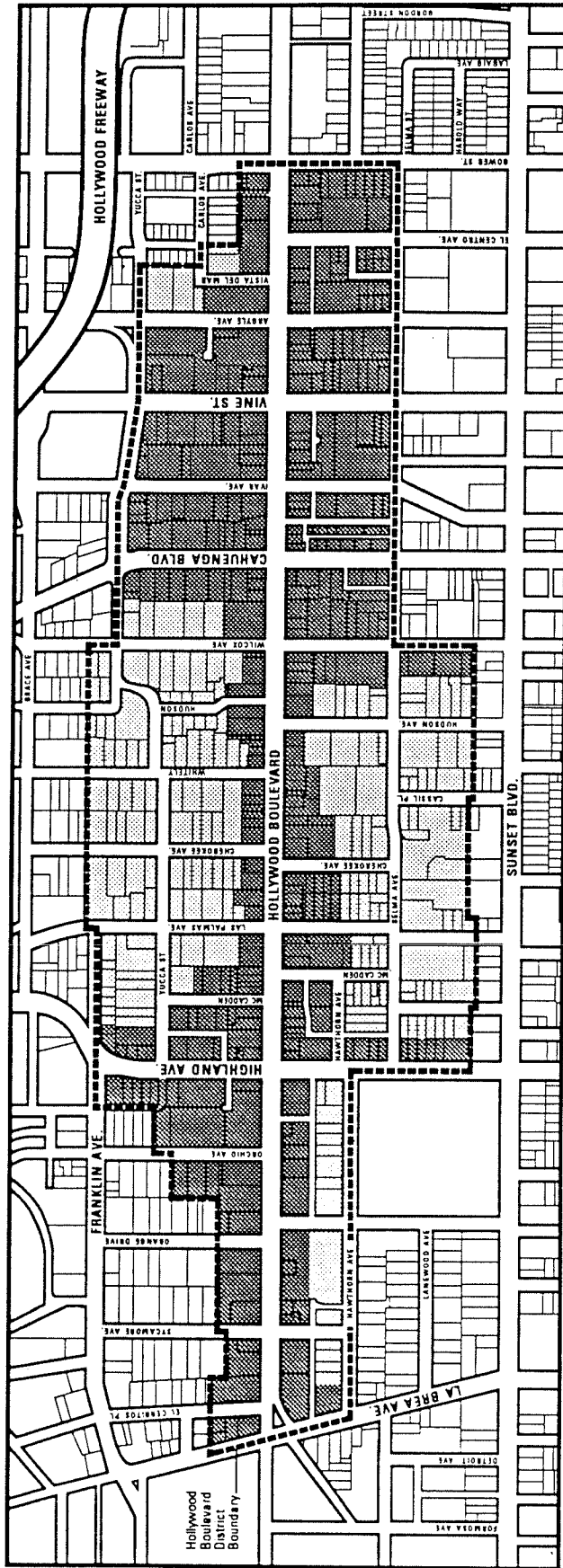


Legend

- Residential
- Residential Mixed Use
- Commercial Mixed Use
- Boulevard Mixed Use

Figure 3-5

Allowed and Encouraged Upper Floor Uses



Legend

Residential only allowed at upper floors.

Mixed Use encouraged at upper floors.



Figure 3-6  
The Plan's Boulevard Mixed Use land use designation encourages sidewalk oriented retail uses that support pedestrian activity appropriate to the existing character of the Boulevard. Residential uses are encouraged on upper floors.

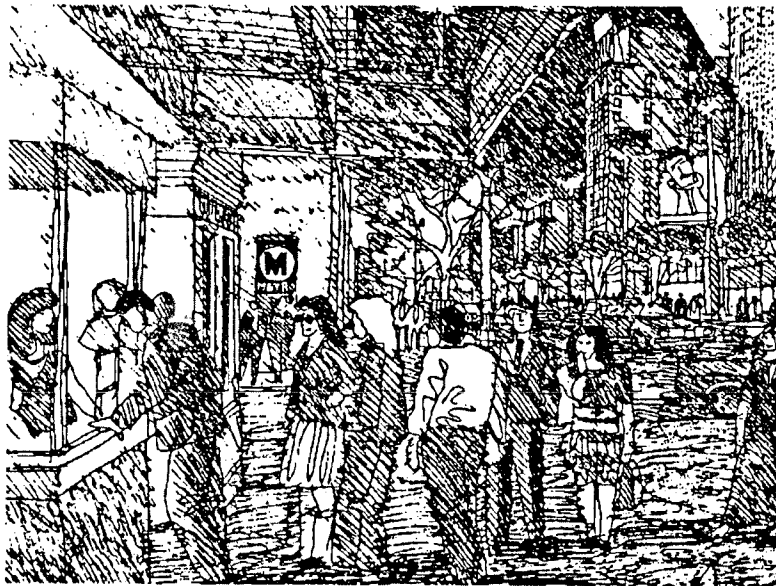


Figure 3-7  
The Plan's Boulevard Mixed Use land use designation encourages live entertainment ground floor uses in the Boulevard East subdistrict. Residential uses are encouraged on upper floors.

- Upper Floor Uses - As indicated in Table 3-1, All commercial uses which are permitted within the Regional Commercial land use designation and the C4, C2, P, and PB zones, including all permitted office, service, entertainment, dining, performance, dwelling and other uses shall be permitted on upper levels provided retail uses at upper floors should have a main entrance oriented to the public sidewalk at the ground level that the entrance to such upper level uses is clearly related to the public sidewalk visually and/or connected to the public sidewalk by a continuous open air passage way providing access to the public sidewalk.

## 2. Encouraged Uses

Within the HBDBoulevard Mixed Use Area, concentrations of specific uses define the character of individualeach sub-districts. Encouraged uses, incentives, and Agency programs which support the retention and expansion of these uses are



recommended listed by sub-district in Table 3-1 and include the following (see also Section 3.3, "Density Standards," for a specific discussion of density bonuses).

- a. Encouraged Uses in the Main Street Subdistrict (see Table 3-1 and Figure 3-8)
- Ground Level - Neighborhood and community oriented retail uses and community service uses are encouraged in the Main Street subdistrict. Specifically Encouraged uses include florists, book stores, magazine stands, bakeries, art supply stores, sit down restaurants, existing cinemas, cinema memorabilia, greeting cards/stationary, deli/grocery, and sidewalk cafes.
  - Upper Level - Housing, entertainment-office related office uses, visual and performing artist studios, graphic and photographic studios, design studios, and live/work spaces are encouraged on upper floors.
- b. Encouraged Uses in the Boulevard East Subdistrict (see Table 3-1)
- Ground Level - To reinforce Boulevard East's appeal as a regional entertainment center, live entertainment uses such as, theaters, night clubs, ~~and~~ studio facilities, and similar uses are encouraged and may be eligible for density bonuses (see Sections 3.2.A.5, and 3.3.B).
  - Upper Level - To reinforce the development of a mixed use district, residential uses, including a minimum 20% of very low and to moderate income housing units are encouraged and may be eligible for density bonuses (see Sections 3.2.A.5 and 3.3.B).
- c. Encouraged Uses in the Boulevard West Subdistrict (see Table 3-1)
- Ground Level - To enhance Boulevard West's appeal as a visitor and tourist destination, visitor and tourist related uses and amenities such as specialty stores, sit down restaurants, cafes, museums, galleries, exhibit spaces, hotels, and cinema related uses, and similar uses activities are encouraged.
  - Upper Level - To reinforce the development of a mixed use district, residential uses, including a minimum 20% of very low and to moderate income housing units are encouraged and may be eligible for density bonuses (see also Sections 3.2.A.5 and 3.3.B).

Some uses encouraged by this Plan, such as sidewalk cafes, require additional city approvals.

In addition to the encouragement of character-defining uses within subdistricts, the Agency, through its Childcare Program and the adopted Hollywood Social Needs Plan, is committed to the development of daycare facilities and social service facilities in new and renovated structures. This component of the redevelopment process strengthens Hollywood as both a workplace and a place to live, benefitting people and businesses alike.

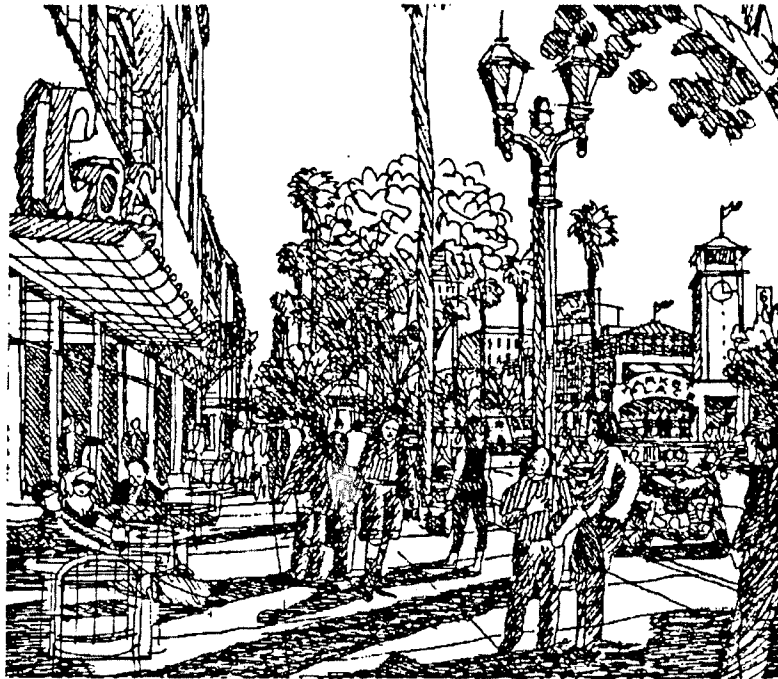


Figure 3-8  
The Plan's  
Boulevard Mixed  
Use land use  
designation  
encourages  
neighborhood  
oriented retail  
uses and  
community  
service uses which  
support  
pedestrian  
activity in the  
Main Street  
subdistrict.  
Residential and  
other uses are  
encouraged on  
upper floors.

To facilitate the development of encouraged uses within Boulevard Mixed Use areas, the Agency shall observe, to the maximum extent feasible, the following policy is recommended.

- Projects which include encouraged uses ~~should~~ shall be prioritized for participation in Agency funding programs and agreements.

### 3. Restricted Uses (see Table 3-1)

Some uses permitted by the Community Plan within the Regional Center Commercial land use designation are not congruent with the goals and objectives of the Hollywood Redevelopment Plan and this Plan and ~~are recommended to~~ are currently or shall be restricted as follows (see also Table 3-1).

- All vehicular service, repair, body, painting, refueling, wholesale supply, storage, car wash, and open air sales and rental uses shall be a minimum of 500 feet from residential uses and a minimum of 1000 feet from other similar uses. In addition, such uses shall require Agency approval.
- Adult entertainment uses shall be a minimum of 500 feet from any school, religious institution, public park or residential use and shall be a minimum of 1000 feet from other similar uses. (See Sec. 12.70.G, Adult Entertainment Zoning, of Article 2 of the City of Los Angeles Planning and Zoning Code)
- Open and enclosed storage, except temporary storage areas associated with construction sites and permitted commercial uses, shall require Agency approval. The purpose of this restriction is not to limit the legitimate storage needs of existing businesses, but to allow the community to exercise control over the potential intrusion of non-architectonic and scaleless storage facilities into residential, pedestrian-active commercial, and other areas where they may not be appropriate or would be appropriate only upon the adoption of specific mitigation measures determined on a case by case basis.

#### 4. Boulevard Mixed Use Performance Standard

The following policy is ~~recommended~~ shall be observed by the Agency.

- ~~When a use proposed within the Boulevard Mixed Use designation is not otherwise defined by this Plan, it may be approved or approved with conditions by the Agency if it is pedestrian serving and pedestrian generating and reinforces adjacent residential communities, regional entertainment uses and/or tourist use of Hollywood Boulevard~~ identified in Table 3-1, "Permitted, Encouraged, and Restricted Uses," or included in Appendix A, "List of Uses Permitted in the C-4, C-2, P, and PB Zones," is proposed in the Boulevard Mixed Use area, it may be approved, or approved with conditions, by the Agency if it, (1) is supportive of entertainment and related service industry uses, (2) is compatible with existing or potential on or off site residential uses, and (3) is consistent with the City of Los Angeles Planning and Zoning Code, the Hollywood Community Plan, and the Hollywood Redevelopment Plan.

#### 5. Uses Eligible for Density Bonuses in Boulevard Mixed Use Areas

To encourage balanced development between residential and commercial uses in Boulevard West, ~~and to reinforce existing and~~ to provide for the creation of new live entertainment uses in Boulevard East, the following density bonus provisions are recommended ~~are established~~: (For further discussion of the density bonus provisions of this Plan see Section 3.3.B of this Chapter).

##### a. Bonus for Housing Residential Uses within Boulevard West

To encourage mixed use development and a balance of commercial and residential uses in the District's urban core, a residential density bonus may be permitted by the Agency in that portion of the Boulevard West subdistrict designated as 3:1 FAR plus 1.5:1 FAR (see Figures ~~3-3 and 3-11~~). The bonus density may be ~~up to a maximum of 1.5:1 FAR of residential uses (at an R4 Density) over the 3:1 FAR.~~ Aa minimum of 20% of the project's residential units shall be affordable to people of very low to moderate income and the project including the bonus area shall require Agency approval.

##### b. Bonus for Live Entertainment Uses atwithin Boulevard East

The area in the vicinity of Hollywood and Vine is a center for live theater and live entertainment uses exemplified by presentations at the Doolittle, Pantages, West Coast, and Henry Fonda Theaters. To reinforce the existing character of this area and to provide incentive to further develop these types of uses in that portion of the Boulevard East subdistrict designated as 3:1 FAR plus 1.5:1 FAR (see Figure 3-11), a density bonus of up to 1.5:1 FAR over the 3:1 FAR may be permitted with Agency approval for the provision of and/or support of live entertainment uses as well as and affordable housing provided that a minimum of 20% of any housing units are affordable to persons of very low to moderate income (see also Section 3.3.B for discussion of additional public benefits which may be eligible for bonus densities in Boulevard East) rehabilitation of significant structures, and provision of off-site open space in that portion of the Boulevard East subdistrict designated as 3:1 FAR plus 1.5:1 FAR (see Figures 3-3 and 3-11).

## 6. Residential Uses Within Boulevard Mixed Use Areas

Section 506.3 of the Hollywood Redevelopment Plan allows residential uses within commercial areas with Agency approval of a development or participation agreement. The criteria for approving residential uses in these areas includes meeting all design and location criteria specified by the Agency.

In order to encourage and facilitate the development of this type of project the following policy ~~is recommended~~ should be observed by the Agency.

- Projects within the Boulevard Mixed Use area which propose residential dwelling units and meet the requirements of this Plan and the Redevelopment Plan should be facilitated by delegating approval authority to the Administrator until such time as an City ordinance is adopted which supports this mixed use designation.

### 3.2.B. Commercial Mixed Use (See Figures 3-4 and 3-5)

The Commercial Mixed Use designation creates a place in the Boulevard District where entertainment industry uses such as post-production services as well as office and other non-retail commercial uses are encouraged. Entertainment production uses have traditionally located within Hollywood and this designation acknowledges the continued importance of these types of uses in maintaining Hollywood's entertainment industry oriented character. Developments which integrate commercial uses with upper floor residential uses are also encouraged by this land use designation.

#### 1. Permitted Uses (see Table 3-1)

The following uses are ~~recommended~~ permitted.

- Ground Floor - All uses which are permitted in the Boulevard Mixed Use designation as defined herein ~~are also permitted, in Commercial Mixed Use areas with no sidewalk frontage restrictions.~~
- Upper Floor - All uses which are permitted in the Boulevard Mixed Use designation as defined herein ~~are permitted, with no entrance or sidewalk frontage restrictions.~~

#### 2. Encouraged Uses (see Table 3-1)

The following uses are encouraged.

- Commercial and industrial uses which are associated with the entertainment industry including; broadcast, motion picture, music or television studios; entertainment production facilities; film and tape editing facilities; post production facilities; and sound score production facilities are encouraged.

Some of the encouraged entertainment uses are not currently permitted by the City's of Los Angeles' C-4 and C-2 land use designations. The following Agency policy ~~is recommended~~ shall be observed with regard to this issue.

- The Agency ~~should~~ shall support variances for property owners seeking to locate encouraged entertainment uses in Commercial Mixed Use areas until such time as an City ordinance is adopted which supports this mixed use designation.



To facilitate the development of encouraged uses within Commercial Mixed Use areas the following policy ~~is recommended~~ shall be observed by the Agency.

- Projects which include encouraged uses in Commercial Mixed Use areas should be prioritized for participation in Agency funding programs and agreements.

In addition, the Agency, through its Childcare Program and the adopted Hollywood Social Needs Plan, is committed to the development of daycare facilities and social service facilities in new and renovated structures. This component of the redevelopment process strengthens Hollywood as both a workplace and a place to live, benefitting people and businesses alike.

### 3. **Restricted Uses** (see Table 3-1)

The following guideline ~~is recommended~~ policy shall be observed by the Agency with regard to restricted uses within Commercial Mixed Use areas.

- Restricted uses within Commercial Mixed Use areas shall be the same as those for Boulevard Mixed Use areas.

### 4. **Commercial Mixed Use Performance Guideline**

The following guideline ~~is recommended~~ policy shall be observed by the Agency.

- ~~When a use proposed within the Commercial Mixed Use area is not otherwise defined by this Plan, it may be approved, or approved with conditions, by the Agency if it is supportive of entertainment and related service industries and is compatible with existing or potential on or off-site residential uses not identified within Table 3-1, Permitted, Encouraged and Restricted Uses is proposed in the Commercial Mixed Use area, it may be approved, or approved with conditions, by the Agency if it, (1) is supportive of entertainment and related service industries, (2) is compatible with existing or potential on or off site residential uses, and (3) is consistent with the City of Los Angeles Planning and Zoning Code, the Hollywood Community Plan, and the Hollywood Redevelopment Plan.~~

### 5. **Residential Uses Within Commercial Mixed Use Areas**

As in the Boulevard Mixed Use designation, residential dwelling units are encouraged within the Commercial Mixed Use area, and the following ~~Agency policy is recommended~~ should be observed by the Agency.

- Projects within Commercial Mixed Use areas which propose residential dwelling units and meet the requirements of this Plan and the Hollywood Redevelopment Plan should be facilitated by delegating approval authority to the Administrator until such time as an City ordinance or Redevelopment Plan amendment is adopted which supports by-right this mixed use designation.

#### **3.2.C. Residential Mixed Use Land Use Designation** (See Figures 3-4 and 3-5)

The Residential Mixed-Use designation provides for the creation of ~~integrated~~ mixed use residential and retail structures located adjacent to the commercially oriented Hollywood Boulevard. This use also serves as a mixed use pedestrian oriented buffer between the intense urban activity of Hollywood's main streets and areas where only residential uses

are permitted. Community oriented ground level businesses such as dry cleaners, corner grocers and coffee shops with housing above are encouraged (see Figure 3-9). Bonus densities for neighborhood commercial uses at the ground floor in Boulevard South and recommended reduced parking requirements in both Boulevard North and Boulevard South ~~are recommended to~~ foster the development of neighborhood retail which serves the everyday needs of Hollywood's residents.

1. **Permitted Uses** (see Table 3-1)

The following uses are ~~recommended~~ permitted.

- Ground Floor - All residential land uses shall be permitted. Hotel uses may be permitted with Agency approval. Commercial uses shall be permitted and encouraged as defined in Section 3.2.C.2 below, but shall be restricted to at-grade ground floor areas.
- Upper Floors - All residential uses shall be permitted. Hotel uses may be permitted with Agency approval.

2. **Encouraged Uses/Bonus Density/Parking Waivers** (see Table 3-1)

The following encouraged uses are ~~recommended~~ established.

- Commercial uses shall be permitted and encouraged provided they are limited to neighborhood serving uses ~~at-grade-level-only~~ and integrated are located on the ground floor of buildings with upper floors dedicated to residential uses only. Encouraged ground floor commercial uses shall include but not be limited to the following; antique store, art gallery, bakery, barber/beauty shop, bookstore, cafe/tearoom, children's shops, coffee shop, community center, confectionery store, day care center, dell/meat market, florist, gift, grocery/fruit/vegetable, hair dresser, hardware, garden, laundromat/dry cleaning, pet shop, photographer, shoe repair, stationary, and tailor.

The following density bonus ~~is recommended~~ may be granted for the provision of encouraged neighborhood serving commercial uses.

- With the approval of the Agency, a residential density bonus not to exceed 1:1 FAR may be granted in Residential Mixed Use Areas in Boulevard South for the provision of neighborhood serving commercial uses as defined above and by Table 3-1.

The following parking policy ~~is recommended to~~ encourages the incorporation of neighborhood serving retail within the Residential Mixed Use areas (also see Chapter 6, Section 6.5.C.2 "Transportation and Parking").

- The Agency shall support variances for reduced or waived parking requirements ~~should be permitted for~~ encouraged neighborhood serving commercial uses in Boulevard North and Boulevard South to the extent that it can be shown that the provision of pedestrian-serving and pedestrian generating businesses within the Residential Mixed Use area does not generate vehicular trips justifying full code requirements conformance.

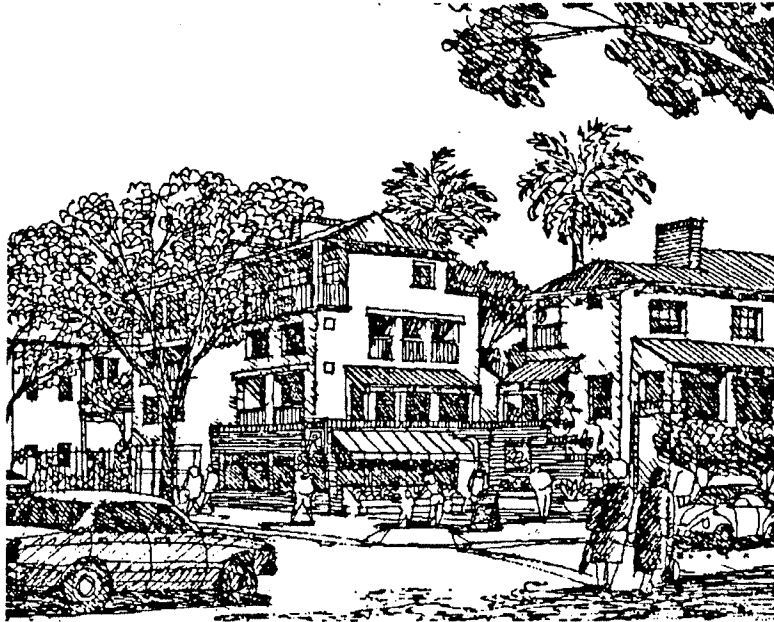


Figure 3-9  
The Residential Mixed Use land use designation provides for the creation of residential structures with ground floor retail and encourages community oriented ground level businesses with housing above.

### 3. Residential Mixed Use Performance Standard

The following policy ~~is recommended~~ shall be observed by the Agency.

- ~~When a commercial use proposed within the Residential Mixed Use area is not otherwise defined by this Plan, it may be permitted or permitted with conditions by the Agency if it serves the needs of the immediate neighborhood, is oriented towards walk-in business from the surrounding residential community, is provided at grade only and integral to a structure with upper floor residential uses~~ not identified within Table 3-1, Permitted, Encouraged, and Restricted Uses is proposed in the Residential Mixed Use area, the use may be approved, or approved with conditions, by the Agency if the use, (1) is compatible with existing or potential on or off site residential uses, and (2) is consistent with the City of Los Angeles Planning and Zoning Code, the Hollywood Community Plan, and the Hollywood Redevelopment Plan.

### 4. Encouragement of Residential Mixed Use Areas

The Hollywood Redevelopment Plan requires Agency approval of residential uses in existing commercially zoned areas. Much of the ~~recommended~~ Residential Mixed Use area is currently zoned commercial. To expedite the development of residential projects in these areas the following policy ~~is recommended~~ should be observed by the Agency.

- The Agency should expedite and facilitate development agreements to ensure implementation of this Plan's residential recommendations in Residential Mixed Use areas by delegating approval authority of residential uses to the Administrator until such time as an City ordinance is adopted which supports this Plan's residential components.

To facilitate the development of encouraged uses within Residential Mixed Use areas the following policy ~~is recommended~~ shall be observed by the Agency to the maximum extent feasible.

- Projects which include encouraged uses within Residential Mixed Use areas should be prioritized for participation in Agency funding programs and agreements.

#### **5. Commercial Uses Within Residential Mixed Use Areas**

Because neighborhood serving commercial uses are permitted and encouraged on the ground floor of buildings with upper floor residential uses by this Plan and by Section 505.4 of the Hollywood Redevelopment Plan, the Agency shall observe the following policy.

- Projects within Residential Mixed Use areas which propose ground floor commercial uses and meet the requirements of this Plan and the Hollywood Redevelopment Plan should be facilitated by delegating approval authority to the Administrator until such time as a City ordinance is adopted which supports by-right this mixed use designation.

#### **3.2.D. Residential Use Designation (See Figure 3-4 and 3-5)**

The Residential use designation focuses the District's residential development north and south of the Main Street area; Boulevard North and Boulevard South. Residential enclaves are also encouraged along Hawthorn Avenue at the western edge of the Boulevard District, and at the northeast corner of the District where Carlos Avenue, Vista Del Mar Street, and Argyle Avenue converge. The development of residential uses in these areas supports the life, activity and daily commerce of Hollywood Boulevard while reinforcing Hollywood's future as a place where people live as well as work.

##### **1. Permitted Uses (see Table 3-1)**

The following standard is ~~recommended~~established.

- Residential uses, and with Agency approval, hotel uses shall be permitted in Residential Use areas.

As ~~isn~~is the Residential Mixed Use area, much of this land use area is currently zoned commercial. To expedite the development of residential projects in the Residential use areas the following policy outlined in Section 3.2.C.4 of this Chapter is further recommended should be observed by the Agency.

- The Agency should expedite and facilitate development agreements to ensure implementation of this Plan's residential recommendations in Residential Use areas by delegating approval authority of residential uses to the Administrator until such time as a City ordinance is adopted which supports this Plan's residential components.

#### **3.2.E. Encouraged Uses/Home Occupations**

Within residential areas, Section 505.4 of the Hollywood Redevelopment Plan allows for home occupations and commercial uses such as professional offices for accountants, architects, lawyers, and artists. The Redevelopment Plan requires that the business be operated from a dwelling unit or the ground floor of a building with no more than four workers. In order to foster the development of home occupations within the Residential Mixed Use and Residential areas, the following policy ~~is recommended~~should be implemented.

- The Agency should facilitate the creation of a standard home occupation development agreement and delegate approval authority of these agreements to the Administrator.

### **3.2.F. Parking Overlay Zone**

To encourage the development of small scale parking structures to serve the Boulevard's businesses and residences, a general parking overlay zone is recommended is established as follows (see also Figure 3-10 and Chapter 7, "Built Form Standards," Section 7.4.A and Section 7.4.B).

- Free-standing, ~~mixed-use~~ parking structures which meet the built form standards of this Plan are permitted and encouraged in the Parking Overlay Zone generally delineated in Figure 3-10, regardless of the underlying land-use designation.

### **3.2.G. Non-Conforming Uses**

Upon adoption of the land use standards of ~~this~~ the Hollywood Boulevard District Urban Design Plan, some of the existing uses throughout the District will become non-conforming uses. A non-conforming use as defined by Section 509 of the Hollywood Redevelopment Plan, is a use of a building or land which was permitted at the time the Redevelopment Plan was adopted, but ceased to be permitted at the time the Redevelopment Plan became effective. A non-conforming use may continue and expansion or improvements to a non-conforming use may be approved provided they meet the requirements of Section 509 of the Hollywood Redevelopment Plan. In accordance with Section 509 of the Hollywood Redevelopment Plan, the Agency may authorize additions, alterations, repairs or other improvements to non-conforming uses if these uses are compatible with the surroundings.

## **3.3 DENSITY STANDARDS**

Over the course of Hollywood's history, densities and intensities of use have evolved into a unique urban pattern where high density intersections and a pedestrian oriented boulevard coexist with a finer scale of housing and small commercial enterprises. These existing scales and traditional intensities of use are acknowledged by ~~recommending~~ the establishment of four distinct density thresholds. The ~~recommended~~ densities range from ~~a floor-area-ratio (FAR) of 1.5:1 or~~ approximately 60 units per gross acre within Boulevard North, to a FAR of 3:1 with a potential for a density bonus of up to 1.5:1 FAR in selected areas of Boulevard East and Boulevard West (see Figure 3-11). In these areas, ~~bonuses are recommended~~ may be granted with Agency approval if the developer or property owner provides public benefits such as rehabilitation of historic structures, affordable housing, live entertainment uses, and/or off-site public open space. Bonus density is may also recommended be granted with Agency approval for the provision of the neighborhood serving retail uses in selected areas of Boulevard South.

The following densities are ~~recommended~~ established.

### **3.3.A. Residential Densities**

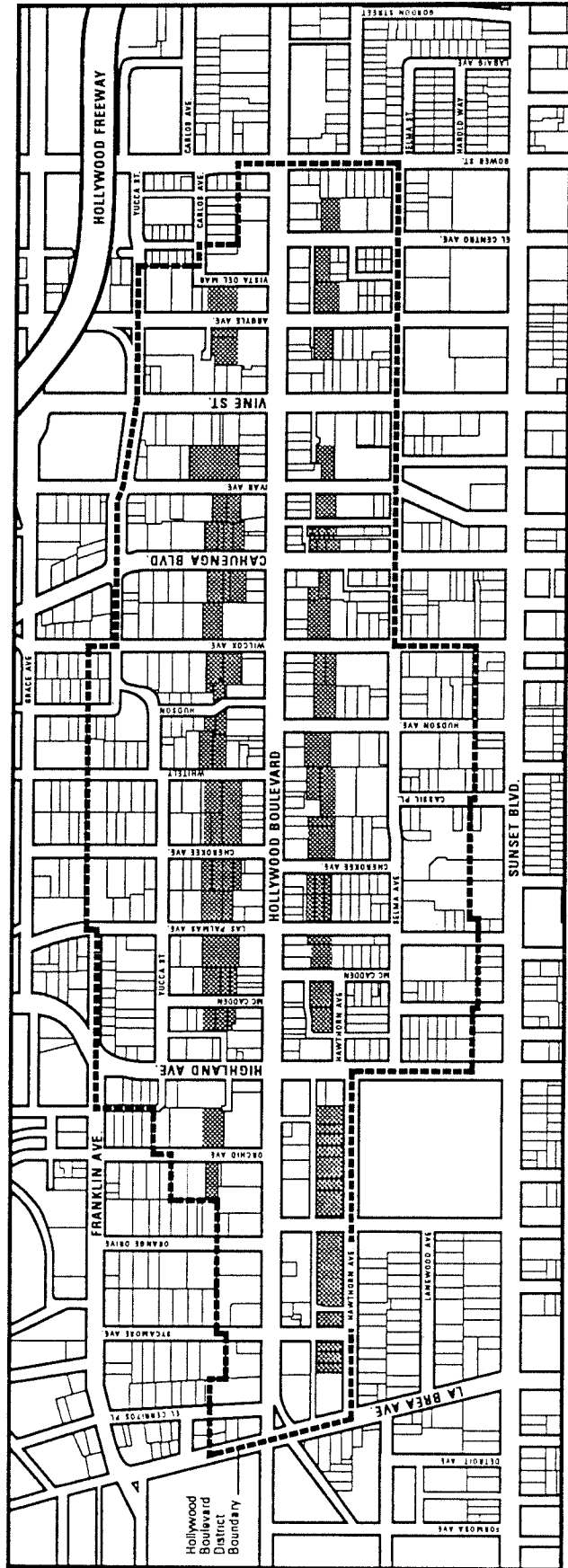
#### **1. High Medium Residential/~~60 Dwelling Units Per Gross Acre~~ (See Figure 3-11)**

To the north of the District are hillside neighborhoods of single family and multi-family buildings marked by the integration of generous private open space with the built environment. Within the Boulevard North sub-district and the area adjacent to Carlos Avenue, a maximum recommended density of 60 units per gross acre or 400 - 800 square feet of lot area per dwelling unit ensures the provision of open space associated with new construction, and establishes a transition from green hillside communities to the continuous streetwall of Hollywood Boulevard.




Figure 3-10

General Parking Overlay Zone



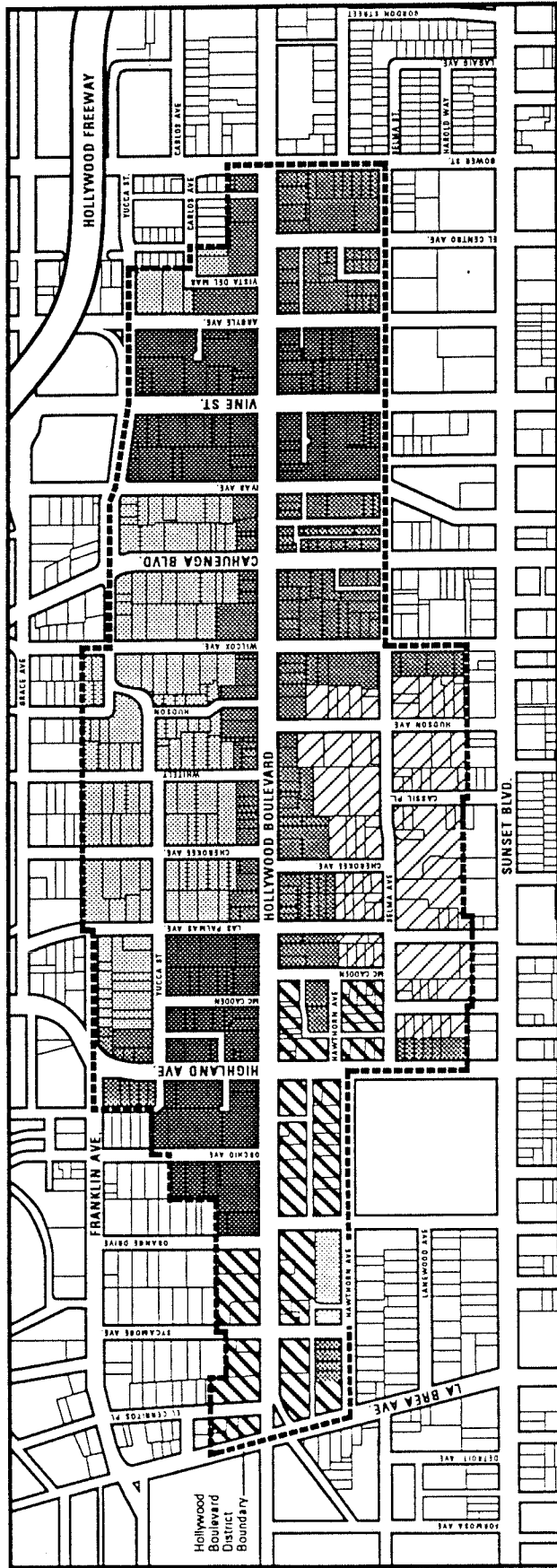
Legend

-  General Area of Parking Overlay Zone

Mixed use parking structures which meet built form standards contained in Chapter 7 are permitted in the Parking Overlay Zone regardless of the underlying land use designation.

Figure 3-11

Density Standards



Legend

Residential		Commercial	
	High/Medium Density 60 Dwelling Units per Acre 400-800 sq ft. per Dwelling Unit		2:1 FAR
	High Density 80 Dwelling Units per Acre 200-400 sq ft. per Dwelling Unit		3:1 FAR
			3:1 + 1.5:1 FAR

The Plan's recommended density standards are based on existing scales and traditional intensities of use with the highest densities at Hollywood/Highland and Hollywood/Vine, lower densities in the Main Street subdistrict, and residential densities in the Boulevard North subdistrict which establish a transition between the hillside communities and Hollywood Boulevard.

To ensure a consistent relationship between density and scale within High Medium Residential areas, the following standard is ~~recommended~~established.

- Within High Medium Residential areas, density shall be limited to ~~600 sq. ft. of gross~~ either 400 - 800 square feet of lot area per dwelling unit in accordance with the provisions of Section 12.11 of the Los Angeles Planning and Zoning Code, or a maximum of 60 dwelling units per gross acre, whichever is less.

**2. High Residential/~~80 Dwelling Units Per Gross Acre~~ (See Figure 3-11)**

The density ~~proposed~~established for all of Boulevard South is based upon the location of this area between Hollywood's two most intensely developed commercial streets, -- Hollywood and Sunset Boulevards; and two high density subdistricts, --Boulevard East and Boulevard West. Additionally, this higher density furthers the goal of creating a critical mass of residents to supporting the encouraged neighborhood retail and service uses which are permitted within the Residential Mixed Use areas described in Section 3.2.C.

To ensure a consistent relationship between density and scale within High Residential areas, the following density standard is ~~recommended~~established.

- Within High Residential areas, density shall be limited to ~~400 sq. ft. of gross~~ either 200 - 400 square feet of lot area per dwelling unit, or a maximum of 80 dwelling units per gross acre, whichever is less.

**3. Residential Mixed Use Bonus Density**

As ~~recommended~~stated in Section 3.2.C.2, a residential density bonus of ~~up to~~ not to exceed 1:1 FAR may be permitted with Agency approval within the Residential Mixed Use areas located in Boulevard South for projects which provide at-grade neighborhood serving retail integrated/located on the ground floor of buildings with which include upper floor residential uses.

**4. Housing Incentive Units**

Section 505.3, "Housing Incentive Units", of the Hollywood Redevelopment Plan allows the Agency to grant a residential density increase of up to 30% for developments in residential areas that provide one or more of the following objectives; affordable housing, preservation of historic structures, recreation areas, cultural facilities, social services, and open space.

**3.3.B. Commercial Density**

**1. 2:1 FAR (see Figure 3-11)**

Densities of up to 2:1 FAR are ~~recommended~~established for the Main Street subdistrict and selected parts of Boulevard East and West. This density is in keeping with the one, two, and three story building forms found in the Main Street subdistrict, areas east of Argyle Avenue, and residential structures with shallow front yards found along adjacent side streets. An FAR of 2:1 in combination with ~~Chapter--7's~~the built form standards of Chapter 7 ensures that future infill construction will be of a scale and intensity that is similar to that which exists.

2. **3:1 FAR (See Figure 3-11)**

To the immediate west and south of Hollywood Boulevard's intersection with Highland Avenue, a density of up to 3:1 FAR is ~~recommended~~established. This FAR is in keeping with the density of existing commercial development and complementary to intensities of use that should be associated with future Metro Rail portals located in this area.

3. **3:1 FAR Plus 1.5:1 Density Bonus (See Figure 3-11)**

At Hollywood Boulevard's intersections with Highland Avenue and Vine Street, shops, people, and offices are clustered within numerous tall structures, many of which rise to Los Angeles' pre-1957 150 foot height limit. The pedestrian intensity of these two intersections will be further reinforced with the coming of Metro Rail. A 3:1 FAR with a density bonus of up to 1.5:1 FAR is ~~recommended~~established for these areas provided public benefits such as the provision of housing, rehabilitation of historic structures, off-site open space, and live entertainment uses are developed as follows.

a. 1.5:1 Density Bonus at Boulevard East (see also Section 3.2.A.5.b)

The following policy is ~~recommended~~is established.

- A density bonus of up to 1.5:1 FAR may be permitted by the Agency in the 3:1 + 1.5:1 area within Boulevard East as shown in Figure 3-11-by the Agency if one or more of the following public benefits is realized.
  - The provision or support of existing and/or new live theater and live entertainment uses.
  - Rehabilitation and/or preservation of on or off-site historically and architecturally significant structure(s), or financial contributions to this Plan's urban conservation objectives (see Chapter 4, "Urban Conservation").
  - Provision of off-site public open space (see Chapter 5, "Open Space").
  - Provision of housing, provided that a minimum of 20% of the project's residential units shall be affordable to those of very low to moderate income.

Within the Boulevard East subdistrict, the following policy regarding prioritization of public benefits ~~is recommended~~should be observed by the Agency to the maximum extent feasible.

- A minimum of 30% of the value of the total public benefits realized in Boulevard East should be directed towards live entertainment uses and/or facilities and a minimum of 50% should be directed towards the urban conservation objectives of this Plan.

- b. 1.5:1 Density Bonus for Housing at Boulevard West (see also Section 3.2.A.5.a)

The area north of Hollywood Boulevard's intersection with Highland Avenue, particularly the Chinese Theater, is one of Los Angeles' major tourist attractions. At the same time, Highland Avenue is one of the main vehicular gateways through and to Hollywood. To ensure a proper balance of uses which lessens the potential traffic impact of new development at this intersection, yet allows for the intensity of uses associated with this locale's tradition as a major destination, the following policy regarding the granting of density bonuses in Boulevard West is ~~recommended~~ established.

- A residential density bonus of up to 1.5:1 FAR may be permitted by the Agency for the provision of on-site housing in the 3:1 + 1.5:1 FAR area within Boulevard West as shown in Figure 3-11, provided a minimum of 20% of the project's residential units shall be affordable to those of very low to moderate income.

### 3.3.C. Transfer of Density or Floor Area Ratio (TFAR) or Density

In accordance with Section 511 of the Hollywood Redevelopment Plan, transfers of floor area ratio (TFAR) or density are allowed with Agency approval to provide an incentive for the conservation of significant buildings within the District. Chapter 4, "Urban Conservation," Section 4.3.J.2 outlines a series of policies regarding transfers of density. This ~~Section of the Plan~~ recommends ~~states~~ that sites within the Main Street subdistrict which include architecturally or historically significant buildings should be prioritized by the Agency as density donor sites while sites on the four blocks adjacent to Hollywood and Vine, and an area immediately south of Boulevard West along the Vine Street corridor, should be ~~designated~~ prioritized as density receiver sites.

## 3.4 IMPLEMENTATION

The guidelines, standards and policies of this Chapter should be implemented through the adoption of one or more Design(s) for Development and City ordinance(s). For further a more complete discussion of HBD implementation see ~~Chapter 9, Implementation~~ the Hollywood Boulevard District Urban Design Plan Implementation Program.



**TABLE 3-1  
HOLLYWOOD BOULEVARD DISTRICT  
SUMMARY OF PERMITTED, ENCOURAGED, AND RESTRICTED USES**

<b>LAND USE DESIGNATION</b>	<b>ALLOWED USES</b>	<b>ENCOURAGED USES</b>	<b>RESTRICTED USES<sup>1</sup></b>
<b>BOULEVARD MIXED USE</b>	<p align="center"><b>Ground Floor</b></p> <p>All uses allowed by the Regional Commercial land use designation of the City of Los Angeles Community Plan and the C4, C2, P, and PB Zones of the Los Angeles Planning and Zoning Code (see Appendix 3-A for a complete list of uses allowed in the stated zones). See <b>RESTRICTED USES</b> for limitations and prohibitions on permitted uses.</p> <p align="center"><b>Upper Floor</b></p> <p>All uses allowed by the Regional Commercial land use designation of the City of Los Angeles Community Plan and within the C4, C2, P, and PB Zones of the Los Angeles Planning and Zoning Code (see Appendix 3-A for a complete list of uses allowed in the stated zones). See <b>RESTRICTED USES</b> for limitations and prohibitions on permitted uses.</p>	<p align="center"><b>Main Street Subdistrict</b></p> <p align="center"><b>Ground Floor</b></p> <p>Art and Craft Galleries, Art Supply Store, Antiques and Collectibles Shops, Bakery, Bookstore and Rare Books Shop, Cafe, Children's Shop, Cinema Memorabilia, Florist and Plant Shops, Furniture, Kitchenware, Lighting, and Home Design Stores, Grocery and Specialty Foods Stores, Magazine Stand, Pet Shop, Pharmacy, Sit-down Restaurant, Stationary and Card Shops.</p> <p align="center"><b>Upper Floor</b></p> <p>Residential; Art, Architecture, Design, Fashion, Graphics, and Photography Studios; Live/Work Spaces; Any encouraged ground level use</p> <p align="center"><b>Boulevard East Subdistrict</b></p> <p align="center"><b>Ground Floor</b></p> <p>Live Theater<sup>2</sup> Night Clubs and Cabarets<sup>2</sup> Music Venues<sup>2</sup> Studio Facilities<sup>2</sup> Cafes, Restaurants</p> <p align="center"><b>Upper Floor</b></p> <p>Residential<sup>2</sup> Office</p> <p align="center"><b>Boulevard West Subdistrict</b></p> <p align="center"><b>Ground Floor</b></p> <p>Art Galleries, Cinema-related Uses, Museums Restaurants, Cafes Travelers Aid, Public Toilets</p> <p align="center"><b>Upper Floor</b></p> <p>Residential<sup>3</sup></p>	<p align="center"><b>Ground Floor</b></p> <p>Office, service use, active recreation, dwelling uses, and other non-retail uses allowed within the City of Los Angeles Regional Commercial designation and the City of Los Angeles C4, C2, P and PB Zones are limited to 30 feet of public sidewalk frontage for the first 40 feet of depth perpendicular to the sidewalk and shall be at the sidewalk frontage a minimum of 100 feet from other such restricted uses.</p> <p align="center"><b>Upper Floor</b></p> <p>All commercial uses allowed within the City of Los Angeles Regional Commercial designation and the City of Los Angeles C4, C2, P, and PB Zones shall be permitted provided that the entrance to such upper level uses is clearly related to the public sidewalk visually and/or physically connected by a continuous open air passage way providing access to the public sidewalk.</p> <p align="center"><b>Ground &amp; Upper Floors</b></p> <p>The following uses are restricted by this plan and/or the municipal code: Automobile sales, service and rental Adult bookstore Adult motion picture theater Adult entertainment venue Check cashing Storage buildings The following uses are not encouraged: Off premise liquor sales Off price retail (as distinct from factory outlet)</p>

<sup>1</sup>See Section 3.2.A.1 and 3.2.A.3 for complete HBD Plan language regarding restricted uses.

<sup>2</sup>Density bonus may be available for listed use within Boulevard East (see Section 3.2.A.5).

<sup>3</sup>Density bonus may be available for listed use within Boulevard West (see Section 3.2.A.5).

**TABLE 3-1  
HOLLYWOOD BOULEVARD DISTRICT  
SUMMARY OF PERMITTED, ENCOURAGED, AND RESTRICTED USES**

LAND USE DESIGNATION	ALLOWED USES	ENCOURAGED USES	RESTRICTED USES <sup>1</sup>
<b>COMMERCIAL MIXED USE</b>	<p align="center"><b>Ground Floor</b></p> <p>All ground floor uses permitted in the Boulevard Mixed Use area (with no sidewalk frontage restrictions).</p> <p align="center"><b>Upper Floors</b></p> <p>All upper floor uses permitted in the Boulevard Mixed Use area (with no entrance or sidewalk frontage restrictions).</p>	<p align="center"><b>Ground Floor</b></p> <p>Entertainment industry commercial and industrial uses including, but not limited to; broadcast, motion picture, and television studios, film and tape editing, sound score post production.</p> <p align="center"><b>Upper Floors</b></p> <p>Residential</p>	<p>Same as BOULEVARD MIXED USE with the exception that there are no ground floor restrictions regarding sidewalk frontage and entry orientation.</p>
<b>RESIDENTIAL MIXED USE</b>	<p align="center"><b>Ground Floor</b></p> <p>Residential uses. Neighborhood serving commercial uses. Hotel use with Agency approval.</p> <p align="center"><b>Upper Floors</b></p> <p>Residential uses. Hotel use with Agency approval.</p>	<p align="center"><b>Ground Floor</b></p> <p>Neighborhood serving commercial uses including: Barber, Hairdresser, Beauty Shop, Coffee Shop, Tea Room, Day Care, Community Center, Delicatessen, Meat Market, Garden Shop, Hardware Store, Laundromat, Dry Cleaning, Outpatient Clinic, Photographer, Social Service Office, Shoe Repair, Tailor.<sup>4</sup></p> <p>Residential uses.</p>	<p align="center"><b>Ground Floor</b></p> <p>Commercial uses are restricted to ground level only. Hotel use requires Agency approval.</p> <p align="center"><b>Upper Floors</b></p> <p>Hotel use requires Agency approval.</p>
<b>RESIDENTIAL</b>	<p>Residential uses only. Hotel use with Agency approval.</p>	<p>Home occupations such as accountant, architect, lawyer.<sup>5</sup></p>	<p>Hotel use with Agency approval.</p>

<sup>4</sup>Bonus density may be available for listed uses in Residential Mixed Use area (see Section 3.2.C.2).

<sup>5</sup>See Hollywood Redevelopment Plan, Section 505.4 for requirements for home occupation usage and other permitted commercial uses in residential areas.

**APPENDIX 3-A  
LIST OF USES PERMITTED IN THE C-4, C-2, P, AND PB ZONES**

**TAKEN FROM "CITY OF LOS ANGELES LIST OF USES PERMITTED IN THE VARIOUS ZONES"<sup>1</sup>  
PUBLISHED BY THE CITY OF LOS ANGELES, DEPARTMENT OF CITY PLANNING,  
JANUARY 9, 1992**

Accessory building	Bird store	Dance studio or academy
Accessory uses	Blueprinting	Day care facility, adults
Adding machine repair (only as service for new items sold at retail)	Boarding house	Day care in home for six or fewer adults
Addressograph service	Boat sales, new	Delicatessen
Adult bookstore	Body and fender repairing (as incidental to new car sales dealership)	Dental clinic
Adult motel	Book store, new	Dental equipment and supplies store
Adult motion picture theatre	Book store, secondhand (no more than 15% paperback)	Dental laboratory
Advertising signs, statuary or structures	Booking agency, employment	Department store
Advertising studio	Box lunch preparation	Designing office or shop
Air conditioning equipment service (only as service for new items sold at retail)	Bridge club	Detective or police agency
Animated cartoon studio	Broadcasting studio	Dining room, public
Antique shop	Broker, stocks, bonds or real estate	Doctor's or dentist's office
Apartment house	Building and loan association	Dormitory
Appliance repair (only as service for new items sold at retail)	Building materials (as incidental to hardware store)	Drama school, college or studio
Aquarium	Burglar alarm business	Dress shop
Architect's office	Business college	Dressing rooms and offices adjacent to studio or theater
Art gallery	Butcher shop	Dressmaking shop
Art school	Cafe	Driving school
Art store	Cafeteria	Drug store
Astronomical observatory	Calculator repair (as service for new articles sold at retail)	Dry goods store
Auctions (court ordered only)	Camera repair (as service for new articles sold at retail)	Dwelling, one family, two family, multiple, and group
Auditorium (maximum 3000 seating capacity)	Candy store	Educational institution
Automobile club	Car sales, new	Electric motor repair (as service for new articles sold at retail)
Automobile display room	Catering establishment	Electrical appliance store
Automobile painting (as incidental to new car sales dealership)	Charitable institution	Employment agency
Automobile parts, new	Child care facility	Engineering office
Automobile rental (as incidental to new car sales dealership)	Child care in home (for six or less children)	Engraving
Automobile repair (as incidental to new car sales dealership)	Chiropractor's office	Escort bureau
Automobile sales, new	Christmas tree or ornament store	Exhibits, commercial or cultural
Automobile sales, used (as incidental to new car sales dealership)	Church, rescue mission	Farm machinery sales
Automobile service station (as incidental to new car sales dealership)	Cigar store	Film and tape editing and motion picture reconstruction
Automobile storage area (as incidental and on same premises as new car dealership)	Clinic, medical or dental	Film exchange
Automobile upholstery (as incidental to new car sales dealership)	Clothing alterations shop	Financial institution
Bail bond broker	Clothing store, new	Fire station
Bakery	Club	Fish market
Bakery goods store	Club, nonprofit	Florist
Bank	Club, private, nonprofit	Flower shop
Barber college	Coffee shop	Fraternal association
Barber shop	Coin shop	Fraternity house
Bath, Turkish and the like	Collection Agency	Frozen food store
Battery service (as incidental to new car sales dealership)	College	Fruit store
Beauty college	Commission merchant or broker	Furniture cleaning (as service for new articles sold at retail)
Beauty shop or parlor	Community antenna facilities	Furniture store
Bicycle rental (as incidental to new bike sales shop)	Community Center, operate by governmental agency, philanthropic organization, or private agency	Garden furniture display area
Bicycle repair shop (as incidental to new bike sales shop)	Computer repair (as service for new articles sold at retail)	Gift shop
Bicycle sales, new	Computer store	Glass or mirror store
Billboards	Concert hall (3000 seats maximum)	Greenhouse
Bingo	Confectionary store	Grocery store
	Consultant's office, business or professional	Hair dresser
	Contractor's establishment (office only)	Hardware store
	Cosmetological establishment	Hat making shop
	Counseling and referral facility	Helicopter landings, infrequent
	Credit association or union	Hotel, including motel
	Dairy products store	Household appliance repair (as service for new articles sold at retail)
		Hydroponic agricultural enterprise
		Import-export business
		Insurance agency
		Intelligence agency, private

<sup>1</sup> See City of Los Angeles document for exact wording and categorization.

Interior decorating store  
Jewelry store, new  
Jewelry store, secondhand (as adjunct to new sales with less than 15% for secondhand)  
Labor union office  
Laboratory, medical or dental  
Lawn mower and renovator repair (as service for new articles sold at retail)  
Library, profit and nonprofit  
Lithographing  
Loan office  
Locker rental  
Locksmith shop  
Lodge  
Lodge nonprofit and privatr nonprofit  
Lunch room  
Mail order house  
Manicure parlor  
Massage parlor  
Masseur or masseuse  
Mattress shop  
Meat market  
Medical clinic  
Medical laboratory  
Messenger office  
Millinery shop  
Mimeograph service  
Mission, rescue  
Mobilehome sales, new  
Mobilehome rental and sales, used(as incidental to new mobilehome sales dealership)  
Mobilehome sales, new  
Monuments and tombstones, retail  
Motion picture film rental  
Motorcycle or motor scooter rental, repair, and sales, used (as incidental to new cycle and scooter sales dealership)  
Motorcycle or motor scooter sales, new  
Motorcycle storage garage  
Museum, for profit  
Museum, nonprofit  
Mushroom growing  
Music school or studio  
Music store  
Name plates  
Newspaper office  
newsstand  
Night club  
Notions store  
Novelties store  
Numismatic store  
Nurse, plant  
Nursery school  
Observatory  
Office, business or professional  
Open storage area  
Optician  
Orphanage  
Orthopedic appliance store  
Paint store  
Parcel delivery service, branch  
Park or playground, operated by a governmental or a private agency or a philanthropic organization  
Parking area, public  
Parking building  
Parking garage  
Payroll check cashing office  
Pet store (birds and fish only)  
Pharmacy, perscription  
Philanthropic institution  
Philatelic store  
Photo developing and finishing  
Photo-engraving  
Photographer  
Ice cream parlor

Photostating  
Police station  
Post office  
Pottery and ceramics, display area and retail store  
Poultry market  
Printing establishment  
Private school  
Produce market  
Professional office  
Public school  
Publishing establishment  
Quality control laboratory  
Radio and television repair shop (as service for new articles sold at retail)  
Radio and television store  
Radio broadcasting studio  
Real estate office  
Record and tape recording studio  
Record and tape store, new  
Recreation building  
Recreation vehicle rental, and sales, used (as incidental to new sales by dealer)  
Recreation vehicle sales, new  
Recyclable material collection and deposit  
Recycling center  
Refreshment stand  
Refrigeration equipment installation and service (as a service for new articles sold at retail)  
Religious association  
Repair shop  
Restaurant  
Retail store or business  
Rooming house  
Safe and vault repairing and service (as a service for new articles sold at retail)  
Sandwich shop  
School of art, dance, drama, or music  
School, elementary or high  
School, private or public  
School, professional or scientific  
School, trade, technical or occupational  
Scientific instrument store  
Secondhand store  
Security patrol office  
Seed store  
Shoe repair store  
Shoe shine stand  
Shoe store  
Showcase Theatre  
Signs  
Soda fountain  
Song bird store  
Sorority house  
Sound score production  
Sporting goods store  
Stamp store  
Station, bus railway or stage  
Stationary store  
Stereo equipment store  
Storage building (for retail merchandise with office)  
Storage, incidental  
Studio  
Swimming pool, commercial  
Tailor shop  
Taxicab business  
Taxidermist  
Tea room  
Telephone exchange  
Theatre  
Ticket agency or broker  
Tobacco shop  
Tombstones, retail, sales  
Trade, technical or occupational

school  
Trading stamp business  
Trailer rental and sales, used ( as incidental to new trailer sales dealership)  
Tropical fish store  
Typewriter repair (as service for new articles sold at retail)  
Typography shop  
Union hall -  
University  
Vegetable store  
Venetian blinds laundering, servicing and repairing (as service for new articles sold at retail)  
Veterinary clinic  
Video tape rental and sales  
Wallpaper store  
Wearing apparel shop  
Wedding chapel  
Wholesale business  
Window shade shop  
Xeroxing  
Yarn shop

**APPENDIX 3-B  
LAND USE AND DENSITY TABLES**

**AREA TABULATIONS/BUILDOUT BACKGROUND**

**TABLE I**

Existing Development(1985)	
Gross Acreage	233.40
Net Acreage	173
Built Area (Sq.Ft.)	8.27 (Mil)
Average Floor Area Ratio (FAR)	1.11:1

**TABLE II**

Existing Land Use - 1985	Land Area		Building Area	
	Area (mil sq.ft.)	Percentage	Area (mil sq.ft.)	Percentage
Commercial	3.57	47.25	5.89	71.20
Residential (units)	1.49	20.00	1.58 (2,258)	19.10
Industrial	0.23	3.10	0.30	3.60
Public	0.59	7.80	0.50	6.10
Parking	1.46	19.4	--	--
Vacant	0.18	2.40	--	--
<b>Total</b>	<b>7.52</b>	<b>100.00</b>	<b>8.27</b>	<b>100.00</b>

**TABLE III**

Maximum Potential Development Above Existing (See Table II) Mil Building Area <sup>1</sup>	Sq.Ft.
Zoning (pre 1988)	97.80
Community Plan (1988)	45.13
Redevelopment Plan (1986)	33.85
HBD Urban Design Plan (1992)	8.14

**TABLE IV**

HBD Potential Development Above Existing (See Table II) Building Area <sup>1</sup>	By-Right (mil sq.ft.)	Bonus (mil sq.ft.)	Total (mil sq.ft.)
Commercial(Ground Floor) <sup>2</sup>	1.61	0.00	1.61
Mixed Use <sup>3</sup>	2.81	0.67 <sup>4</sup>	3.48
Residential <sup>5</sup> (units)	2.35 (2,350)	0.70 <sup>6</sup> (700)	3.05 (3,050)
<b>Total</b>	<b>6.77</b>	<b>1.37</b>	<b>8.14</b>

<sup>1</sup>Buildout Assumptions: All significant and public buildings are not assigned additional density with regard to future potential buildout. Buildings that currently have at least 50% of the permitted density under the proposed plan are not assigned additional density with regard to future potential buildout.

<sup>2</sup>Includes Boulevard Mixed Use and Commercial Mixed Use ground floor areas.

<sup>3</sup>Includes Boulevard Mixed Use and Commercial Mixed Use above grade areas.

<sup>4</sup>Potential maximum bonus density at Boulevard East.

<sup>5</sup>Includes Residential Mixed Use and Residential areas: Does not include permitted housing incentive units/or neighborhood retail commercial.

<sup>6</sup>Potential maximum bonus density at Boulevard West for housing only.



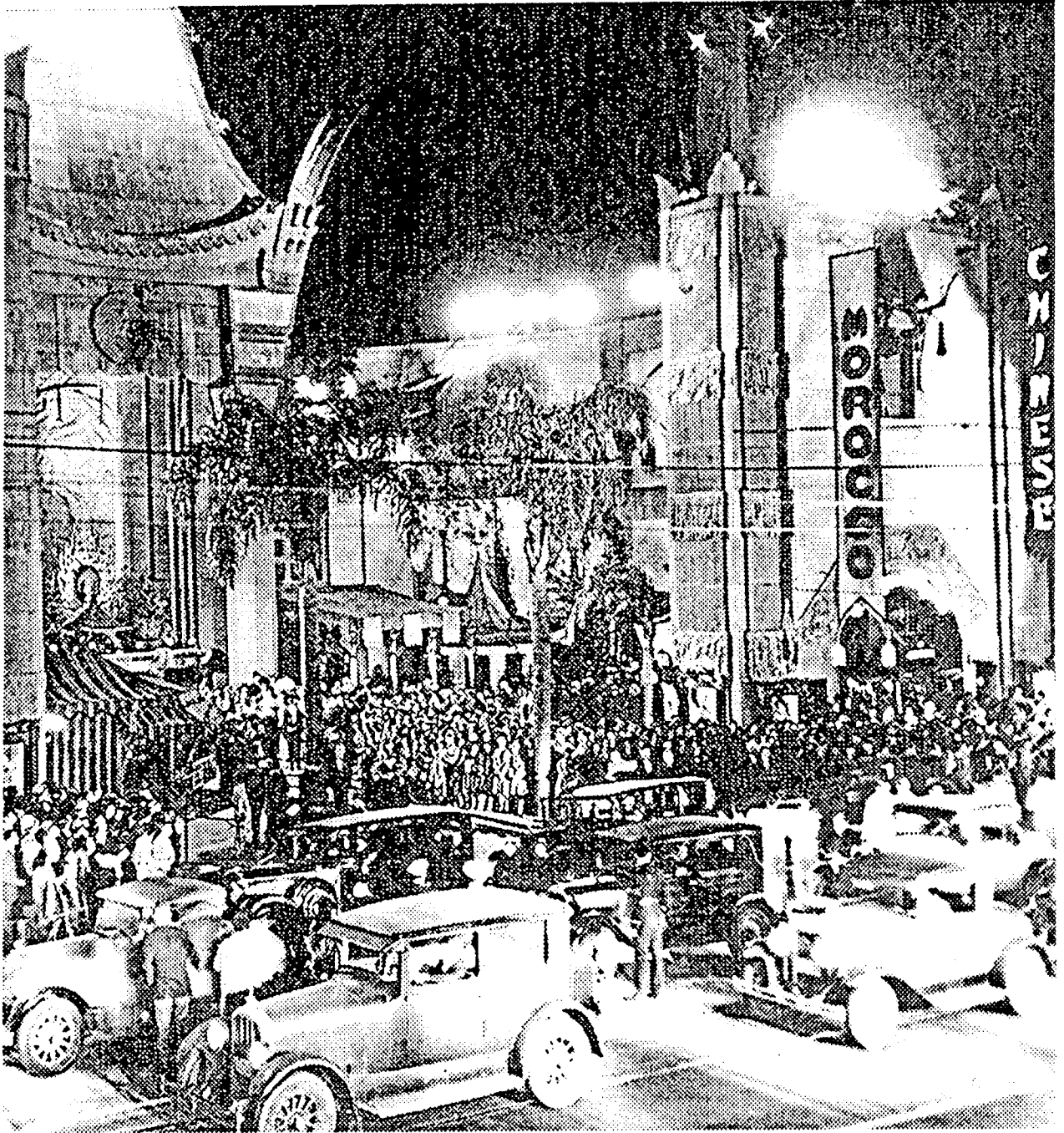


Figure 4-1  
An Historic View of  
Hollywood's Historic Chinese  
Theater at 6925 Hollywood  
Boulevard.

4

## URBAN CONSERVATION AND CULTURAL REVITALIZATION

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## OBJECTIVE - URBAN CONSERVATION

*As an integral part of Hollywood's revitalization, provide protections and incentives to promote the reuse and rehabilitation of significant residential and commercial buildings and places.*

## 4.1 OVERVIEW

Hollywood's historic buildings and places are a daily reminder of this community's heritage and its contribution to the country's and the world's culture (see Figure 4-1). One of the underlying assumptions of this Plan is that Hollywood's fullest economic and physical potential as a place that people will desire to visit, work, and live in will be realized only through the conservation, rehabilitation, and revitalization of Hollywood's historic, architectural, and cultural resources. (see Figure 4-2 and Figure 4-3).

Preservation must be linked to community resources, including residents, the stock of affordable housing, and the small businesses which serve the area. The objectives of this section are realized through recommendations for the following:

- Definitions of building significance and the outlining of standardized assessment procedures;
- Conservation protections, rehabilitation standards, guidelines, and standards, and an outreach program;
- Conservation incentives including the funding of an urban conservation program, reduced parking requirements, the use of transfers of density, and housing incentive units for rehabilitation; and
- A cultural revitalization framework including a district identification program.

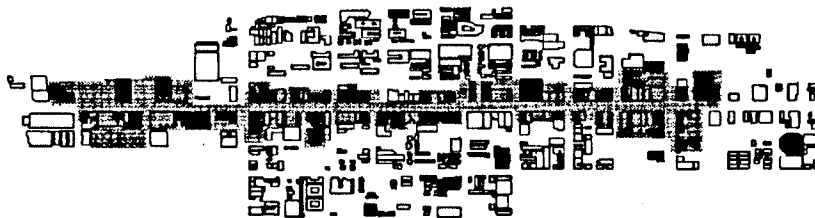


Figure 4-2  
Urban Conservation  
Concept Drawing;  
Significant  
Structures noted in  
black, historic  
district shaded.

The assumptions, standards, and programs of this chapter influence the goals, objectives, guidelines and standards and guidelines of the entire Plan. Standards for land use and density included in Chapter 3 reflect existing and historic development patterns. The open space guidelines included in Chapter 5 recognize and reinforce the District's major open space resource; the existing configuration of sidewalks and streets. The built form standards included in Chapter 7 emphasize the use of design principles derived from and compatible with the District's architecturally and historically significant structures. Throughout the Plan, urban conservation is not simply a strategy for saving buildings, but a means of reestablishing Hollywood's identity, thereby reinforcing its uniqueness as a destination.



Figure 4-3  
Historic View of  
Hollywood's Historic  
Commercial and  
Entertainment  
District, looking east  
towards the  
Boulevard's  
intersection with  
Cahuenga  
Boulevard.

#### 4.2 DETERMINATION OF ARCHITECTURAL AND HISTORIC SIGNIFICANCE

The Boulevard District is full of historically and architecturally interesting buildings and anchored by a National Register Historic District. Section 511 of the Hollywood Redevelopment Plan states that buildings listed as Cultural-Historic Monuments by the City of Los Angeles, and buildings which are "listed in," "determined to be" eligible for," or "appear to be" eligible for," the National Register of Historic Places, either individually or as a contributing building within a district, are of architectural and/or historic "significance." These definitions correspond to historic survey categories 1, 1D, 2, 2D, 3, and 3D, in which the "D" suffixes signify a contributing building within a district.

Additionally, the Agency adopted as significant, on April 19, 1990, buildings listed as "potentially eligible for" the National Register. This definition corresponds to the Hollywood historic survey categories 4 and 4D. The Hollywood Boulevard Commercial and Entertainment District (HBCED), a National Register Historic District established in April of 1985, includes over 90 contributing (significant) and 40 non-contributing buildings. Most of the determinations of significance are based on the findings of a historic survey prepared for the Agency by Hollywood Heritage in the mid 1980's. This survey was certified by the State Office of Historic Preservation in March of 1989. Figure 4-34 indicates by parcel the location of the District's significant structures and the boundaries of the HBCED. In addition, contributing buildings to the HBCED are listed in Table 4-A along with all other significant buildings within the Hollywood Boulevard District. Table 4-B lists the non-contributing buildings within the HBCED.

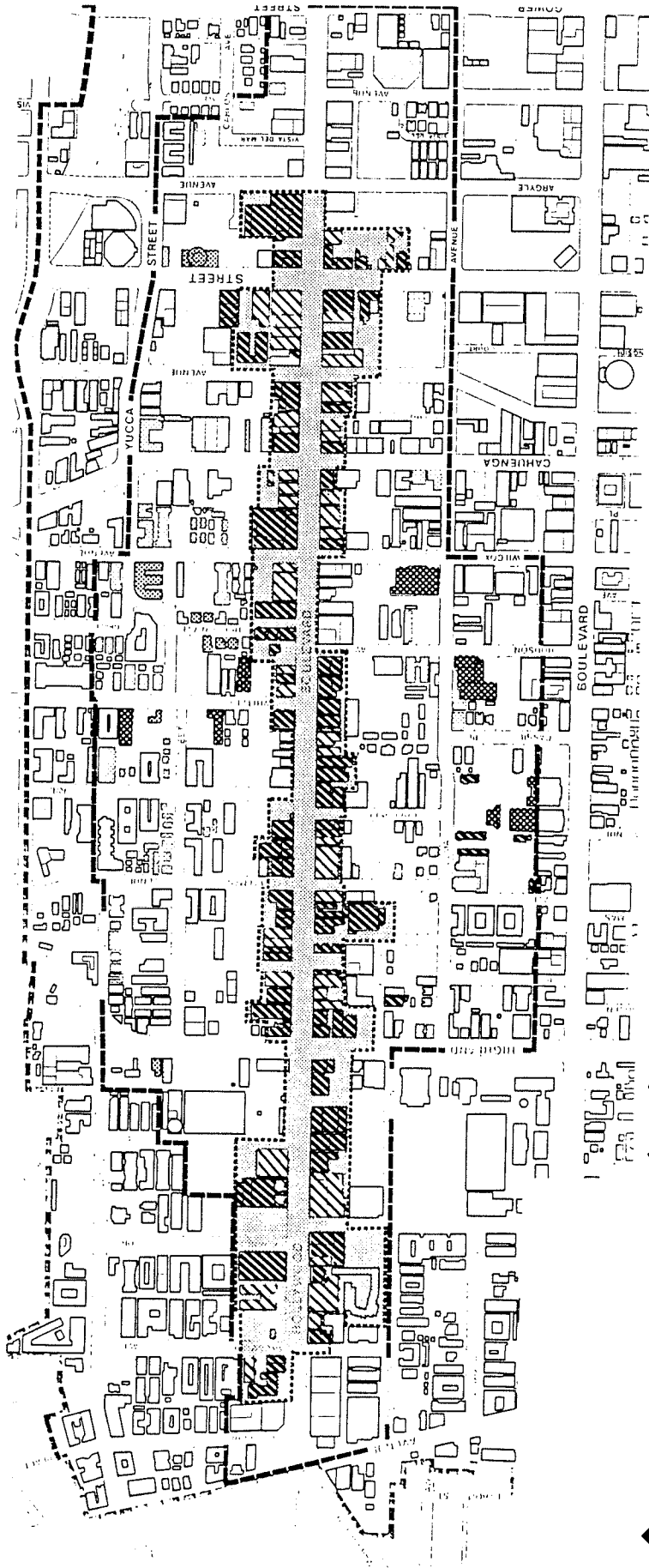
The following policy shall apply to all significant buildings within the Hollywood Boulevard District:

- All significant buildings within the Hollywood Boulevard District, as defined by this plan and the Hollywood Redevelopment Plan, shall be afforded the protections of the Hollywood Redevelopment Plan as well as the protections of the Hollywood Boulevard District Urban Design Plan.










Figure 4-4

Hollywood Boulevard District  
Significant Buildings



Legend

-  Hollywood Boulevard Commercial & Entertainment District (HBCED)
-  Hollywood Boulevard District Boundary
-  National Register Listed Building or Determined Eligible for Listing Includes Contributing Buildings within the HBCED  
Corresponds to Historic Survey Categories 1,1D,2,2D
-  Non-Contributing Building within the HBCED
-  Building Appears Eligible for Listing on the National Register  
Corresponds to Historic Survey Categories 3,3D
-  Building Potentially Eligible for Listing on the National Register  
Corresponds to Historic Survey Categories 4,4D
-  Building Listed or Eligible for Listing Under a Local Landmark Ordinance or as Part of a Locally Designated District  
Corresponds to Historic Survey Categories 5,5D

Note: The 'D' suffix qualifies eligibility as part of a district only

#### 4.3 URBAN CONSERVATION POLICIES/REHABILITATION STANDARDS AND GUIDELINES/CONSERVATION INCENTIVES

One of the major goals of the Hollywood Redevelopment Plan is to "recognize, promote, and support the retention, restoration, and appropriate reuse of existing buildings, groupings of buildings, and other physical features . . . having significant historic and/or architectural value" (Section 300.11).

The following recommended conservation protections, procedures, standards, and incentives of both the Redevelopment Plan and this Plan ~~should~~ extend to all "significant" structures, as defined in Section 4.2 above, within the Hollywood Boulevard District.

##### A. Protections

Measures to protect the District's significant structures are found in Section 511 of the Hollywood Redevelopment Plan and are reiterated as follows.

##### 1. Use of the Secretary of The Interior's Standards

Section 409.1 of the Hollywood Redevelopment Plan requires that significant buildings be rehabilitated in accordance with The Secretary of the Interior's Standards for Rehabilitation.

The following policy ~~is recommended to facilitate~~ proper use of the Standards.

- The Agency shall ensure that staff reviewing rehabilitation projects for conformance to The Secretary of the Interior's Standards for Rehabilitation are familiar with their use and current interpretation.

##### 2. ~~Demolition of Significant Buildings~~ Delay of Demolition Permit Requests

Section 511 of the Hollywood Redevelopment Plan prohibits issuance of any grading, foundation, demolition, building, or other kind of permit which adversely effects a significant building unless and until the permit is delayed for "a reasonable period of time . . . to permit negotiations to occur and opportunities to be explored" which would "avoid or mitigate any adverse impact."

The following policy ~~is also recommended~~ shall be observed by the Agency within the Hollywood Boulevard District to ensure a full study of options which avoid or mitigate adverse impacts.

- The economic and physical infeasibility of reusing a significant structure shall be demonstrated when demolition or substantial alteration of a significant structure is proposed.

##### 3. Denial of Requests for Housing Incentive Units and Variations

As further defined by Section 511 of the Redevelopment Plan, except in exceptional circumstances, the Agency shall deny requests for housing incentive units and variations for sites on which a structure determined by the Agency to be "significant" was demolished after the adoption of the Hollywood Redevelopment Plan.

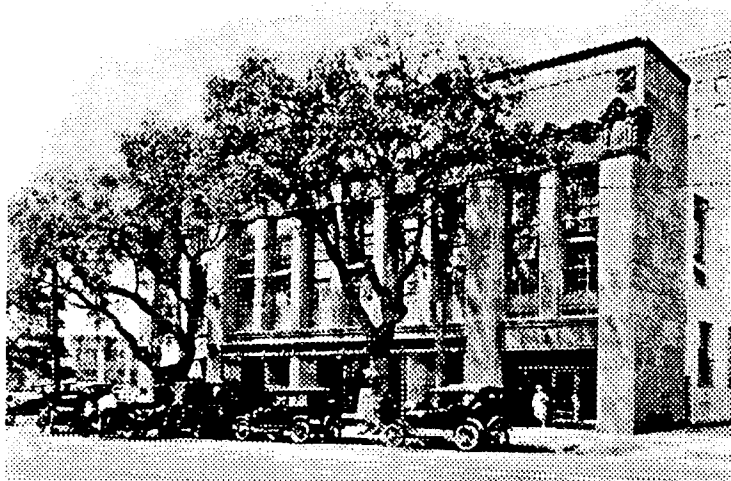
**4. Community Involvement in Review of Projects with Potential Impact on HBCED and/or Significant Structures**

To keep the community informed of changes which could impact the historic integrity of the HBCED and the District as a whole the following policy is recommended shall be observed by the Agency (see also Chapter 8, "Design Review and Permit Process").

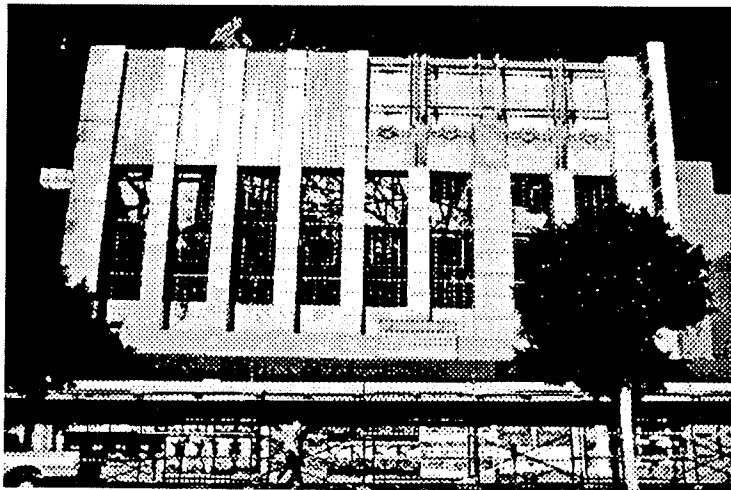
- The community, as further defined by Chapter 8, Design Review and Permit Process, Section 8.2.C, shall review and make recommendations to the Agency regarding any proposed demolitions or substantial alterations of "significant" buildings project within the Hollywood Boulevard District which adversely impacts a significant resource as determined by non-compliance with the Secretary of the Interior's Standards.

**35. HBCED Non-Contributing Buildings**

The classification of "non-contributing" to the HBCED was based upon a number of criteria including date of construction, extensive alteration of original architectural features, and inability to assess the original architectural integrity due to obscuring non-historic additions or alterations such as 1950's era aluminum storefront construction (see Figure 4-45).



a. Historic View of 1717 Vine Street.



b. View of 1717 Vine Street showing non-conforming later additions being removed to reveal original facade.

Figure 4-5

Non-historic alterations or additions may obscure architectural features and other distinguishing characteristics as seen in this example at 1717 Vine Street. The building was subsequently demolished.

The following policies ~~are recommended~~ shall be observed by the Agency with regard to the review of proposed demolitions or substantial alterations to non-contributing structures (see Table 4-B, Non-Contributing Buildings to the HBCED).

- When demolition or substantial alteration of a non-contributing building to the Hollywood Boulevard Commercial and Entertainment District with potentially reversible conditions is proposed, a historic assessment to determine potential significance, if any, shall be required (see Section 4.3.B., "Historic Assessments") until such time as a study clarifying the status of all non-contributing buildings within this district is completed (see also Section 4.3.A.6, "Historic Assessments").
- When a non-contributing building within the Hollywood Boulevard Commercial and Entertainment District has potentially reversible alterations, as determined by an historic assessment report or study as outlined above, the building permit applicant may be required to reveal and selectively document the original exterior and/or interior features and, if historic integrity remains, rehabilitate the structure in accordance with the provisions of the Hollywood Redevelopment Plan and this Plan.

#### 46. Historic Assessments

Proper rehabilitation is dependent upon a thorough understanding of the architectural and historic qualities of a structure. Historic assessments document existing conditions and assist in the proper analysis of their relationship to the original architecture and proposed alterations. The following policies ~~is recommended~~ promote proper rehabilitation.

- Where adequate documentation of a significant building's historic features or qualities does not exist and when alterations are proposed which impact the historic integrity of the structure, a historic assessment shall be required.

##### a. Historic Assessment Reports

Before a property owner or developer begins a historic assessment report, Agency staff as well as preservation professionals should be consulted. ~~The following guidelines regarding historic assessments are recommended.~~

Historic assessment reports should include but are not be limited to discussion of the following areas.

- Identification, if possible, of date of construction (factual or estimated), the architect of record, and style of architecture.
- Where feasible, photographs or drawings of the building and/or site from construction to the present.
- Identification of existing conditions through photographs and/or drawings. Use of Historic American Building Survey (HABS) standards is recommended.
- Identification and review of existing features that are architecturally or historically significant (i.e. windows, moldings, ornament, walls, etc.).
- ~~Where feasible, photographs or drawings of the building and/or site from construction to the present.~~

- Research of building permits or other records to establish a record of alterations since original construction.
- Research of city directories and other appropriate historic documents which identify individuals, institutions, and/or uses which have occupied the structure or site through time.
- Review of work in relationship to other similar work which may exist within the Los Angeles area or elsewhere.
- If the building was designed by an architect or firm or includes craftsmanship by identifiable individuals or a particular school of craftsmanship, review of this work within the context of the architect's, firm's, or craftsman's body of work.
- Review of work, if appropriate, as an example of an endangered building type, style, or technique, and/or craftsmanship.
- Assessment of architectural significance and integrity of existing historic conditions and impact of alterations, if any, on structure and/or site.
- Assessment of significance and contribution of structure and/or site in relationship to an existing or potential historic district.
- Assessment of cultural and/or historic significance of structure and/or site.
- Assessment of structure and/or site with regard to National Register or City of Los Angeles Cultural Historic Monument criteria.

b. Historic Assessment Consultants

Assessments of significant structures should be conducted by a preservation professional. Preservation professionals include but are not limited to, historians, architects, engineers, or preservation advocates. The following policy ~~is recommended~~ shall be used by the Agency when reviewing the credentials of a historic assessment consultant.

- A historic assessment consultant shall have demonstrated expertise in identifying significant resources and evaluating their relative significance within a historic or cultural context.

The following policies ~~are suggested in order to~~ facilitate the development of assessment reports and avoid needless report duplication.

- In consultation with local groups with an interest in historic preservation, the Agency ~~should~~ shall develop a list of individuals and firms which do historic assessments and make it available for public use.
- The Agency ~~should~~ shall maintain a file of historic assessment reports developed for projects within the District. In those cases where an assessment is required, the developer or property owner may be able to use an existing assessment if it adequately addresses the current condition of the structure in relationship to the proposed scope of work.

**B. Rehabilitation Standards**

In accordance with Section 511 of the Hollywood Redevelopment Plan, this Plan incorporates, with ~~proposed~~ additions, the rehabilitation standards developed by the



United States Secretary Department of the Interior. The recommended additions are italicized and both discourage rehabilitation proposals which save facades only, and require conformance with the other provisions of this Plan.

Use of the standards can be an incentive to rehabilitate and reuse a structure. Buildings that meet National Register Criteria and are rehabilitated in accordance with these standards may qualify for federal tax credits (many significant buildings within the Boulevard District meet National Register criteria; also see Section 4.3.J.6)

The following rehabilitation standards ~~are recommended~~ shall be adhered to when rehabilitating significant buildings within the Hollywood Boulevard District.

- A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- Most properties change over time; those changes that have acquired significance in their own right shall be retained and preserved.
- Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities, and where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

- *Retention of building shells, facades and sidewalls to credible depths is essential to define and maintain the integrity and quality of any significant structure. Projects which involve the substantial demolition of a structure, with retention of facades and token side walls only, do not retain this integrity.*
- *New additions, exterior alterations, and related new construction shall conform with the standards and guidelines of the Hollywood Boulevard District Urban Design Plan.*

**C. Exterior Rehabilitation Guidelines**

The following recommended exterior rehabilitation guidelines are based upon The Guidelines for Applying the Secretary of the Interior's Standards and Preservation Briefs, both published by the National Park Service. Individuals proposing exterior rehabilitation are encouraged to consult the complete recommended procedures outlined in the Guidelines for Applying the Standards.

The following guidelines ~~should~~shall be used by the Agency to interpret the Secretary of the Interior's rehabilitation standards.

- Retain distinctive landscape features such as plants, trees, fencing, walkways, signs, and lights that have traditionally linked the building to its environment. Introduce new security lighting and fencing only if necessary, and ensure that new elements are compatible with the character of the neighborhood and create a minimum intrusion.
- Retain and rehabilitate architectural features and other distinguishing characteristics of the building that are important in defining its overall historic character. Architectural features include windows, doors, cornices, architraves, pediments, columns, dormers, brackets, chimneys, roof forms, and other significant physical characteristics (see Figure 4-56).
- Retain original building materials, including masonry and mortar, whenever possible. If replacement is necessary, duplicate old mortar in composition, color, texture, joint size, and joint profile. Repair stucco with a stucco mixture that duplicates the original as closely as possible in appearance and texture.
- Remove materials which obscure or cover character defining features of a historic building. Transom windows and storefronts which have been covered up should be uncovered and opened up.
- Retain and rehabilitate, as feasible, original window and door openings and building storefronts, including window sash, glass, lintels, sills, doors, pediments, hoods, steps, configuration, and hardware (see Figure 4-67). When original windows have been destroyed or are too deteriorated to rehabilitate, replacement windows should duplicate the material, design, dimension, and hardware of the originals. Existing recessed storefront entries are an important aspect of Hollywood's historic commercial architecture. Those which contribute to the significance of a building shall be maintained.
- When the use of substitute or replacement features or materials is required, they should be based on the documented original when possible. New features and materials should be clearly distinguishable from historic elements.
- Base repainting of buildings on historic analysis and material analysis of the building and surrounding context.
- The covering of existing exterior masonry or brick on significant structures with stucco, sprayed gunite, or paint is prohibited unless a public safety concern warrants their use.

- Non-original window mounted or surface mounted air-conditioning units should be removed from the primary facades of significant buildings.
- Inserting new floors or furred-down ceilings cut across the glazed areas of windows so that the exterior form and appearance of the windows is changed is discouraged.

#### D. Interior Rehabilitation Guidelines

Building interiors often contain character defining features, materials, and configurations which should be preserved. Like the exterior rehabilitation guidelines, the following recommended interior rehabilitation guidelines are based upon The Guidelines for Applying the Secretary of the Interior's Standards and Preservation Briefs, both published by the National Park Service.

The following guidelines ~~should~~shall be used by the Agency to interpret the Secretary of the Interior's Rehabilitation Standards.

- Interior spaces which are important to the overall historic character of a building should be preserved and retained where possible. This should include the size, configuration and proportions of rooms, lobbies, reception halls, theaters, auditoria, hallways and other spaces.
- Partition or opening-up of historically configured interior spaces should be allowed only when other alternatives are not possible and the change will not damage, destroy or obscure character-defining spaces, features, or finishes.
- Interior features, material, and finishes which are important to the building's historic character, should be retained and preserved (see Figure 4-78). Destructive methods to clean or remove paint from historic features should not be allowed unless other effective alternatives are not available.
- Dropped ceilings which obscure any character-defining element of the building such as ornamental ceilings, should be avoided. Where a dropped ceiling is installed, it should not be installed in such a manner as to adversely impact other architectural elements such as windows or ornamental column capitals.
- Visible features of early building systems which are important in defining the overall historic character of a building should be identified, retained, and preserved. This will include but not be limited to radiators, heating and ventilation grills and plumbing and light fixtures.

#### E. Historic Signage Guidelines

Signage is an important component of Hollywood's historic image and the District is enhanced or ~~obscured~~diminished by the design of new signage. In addition to the Plan's rehabilitation standards, the signage standards outlined in Chapter 7, "Built Form," Section 7.7, help ensure that new signage is sympathetic to a building's rhythm, proportion and scale (see Figure 4-89). This latter section of the Plan encourages the conservation and reuse of historic signage (see Figure 4-910), prohibits new wall signs on historic buildings from obscuring significant architectural features or historic signs, and ~~recommends that~~ prohibits the use of most signs with plastic fields not be allowed within the HBCED.



Figure 4-6

The exterior rehabilitation of the El Capitan Theater at 6834 Hollywood Boulevard called for the retention and rehabilitation of architectural features and other distinguishing characteristics such as decorative cast concrete bands and projecting window bays with ornamental cast iron posts and moldings .



Figure 4-7

Windows and storefronts which have been covered up, such as these at the southeast corner of Hollywood Boulevard and Cherokee Avenue, should be uncovered and rehabilitated.

## F. Seismic Rehabilitation Guidelines

Seismic reinforcement, if insensitively done, adversely impacts the integrity of significant structures (see Figure 4-1011). Designs for seismic reinforcement are required to conform to City of Los Angeles Department of Building and Safety standards and as such must be undertaken by a qualified engineer and/or architect. Engineers and architects experienced with historic buildings can usually design seismic reinforcement in a manner sympathetic to the architecture while still meeting lateral force requirements. The following general policies are recommended shall be observed by the Agency with regard to seismic rehabilitation and reinforcement.

- Seismic reinforcement which adversely impacts the architectural or historical significance of a structure shall be allowed only if structural and economic infeasibility is demonstrated by the permit applicant.
- Minimally visible seismic reinforcement techniques shall be used to the maximum extent feasible when rehabilitating a significant structure.

~~Designs for seismic reinforcement are required to conform to City of Los Angeles Department of Building and Safety standards and as such must be undertaken by a qualified engineer and/or architect.~~

The following additional policies with regard to seismic reinforcement and rehabilitation shall be observed by the Agency.

### 1. **Exterior Bolting**

Exposed anchor bolts and plates are used to connect exterior walls with floor and roof planes. Architectural features and the original look of a structure are sometimes damaged when bolts are installed (see Figure 4-1011). The following guidelines are recommended shall be followed with regard to exterior bolting.

- Use of exterior anchors is strongly discouraged. Where feasible, and where City of Los Angeles Department of Building and Safety regulations permit, use of hidden anchors should be used.
- Where exterior anchors are used, every effort shall be made to provide straight alignment, even spacing, and consistent orientation of the plates. Conflicts with architectural details ~~should~~ shall be avoided to the maximum extent feasible.

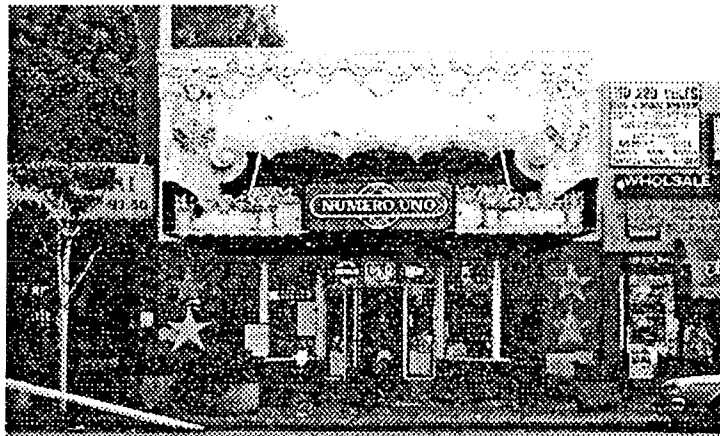
### 2. **Wall Openings**

One of the common ways to increase the strength of an unreinforced masonry building is to close up windows and other openings with reinforced masonry block. Another technique is to spray gunite over reinforcing steel, encapsulating the unreinforced wall with reinforced concrete. Both of these techniques may adversely impact a structure's historic facades (see Figure 4-1112). To maintain the architectural integrity of significant buildings, the following guideline is recommended shall be followed.

- Use of seismic strengthening techniques which alter the appearance of principal facades ~~should~~ shall not be used avoided to the maximum extent feasible.



**Figure 4-8**  
Interior rehabilitation guidelines call for the retention and preservation of interior features, materials, and finishes.



**Figure 4-9**  
New signs should be sympathetic to a building's rhythm, proportion, and scale. New signs should not conceal significant architectural features, such as those at 6718 Hollywood Boulevard.



**Figure 4-10**  
The conservation and reuse of historic signs, such as this one at 6423 Hollywood Boulevard, is encouraged.



### 3. Additional Seismic Rehabilitation Techniques

Among the alternative methods that should be considered when seismic work is undertaken are the use of steel "shear" frames placed invisibly behind or within wall and window openings, guniting the interior as opposed to the exterior of buildings, and other technologies which meet City of Los Angeles Department of Building and Safety requirements (see Figure 4-1213).

### G. Use of Architects and/or Engineers

Rehabilitation is often complex and the ability to make professional decisions in sympathy with the historic qualities of a structure almost always requires the services of an architect and/or engineer experienced with historic buildings as well as in many cases a qualified preservation consultant. The following policies ~~are recommended to help~~ ensure the integrity of proposed alterations and/or additions to significant structures.

- Developers, property owners and building permit applicants may be required to obtain the services of qualified preservation professionals if proposed work impacts the historic qualities of a significant structure.
- The Agency, in consultation with local groups with an interest in historic preservation, the American Institute of Architects, appropriate engineering societies, and other groups, ~~should~~ shall develop a list of individuals and firms who specialize in preservation and conservation and make it available for public use.

### H. Use of the State Historic Building Code

The State Historic Building Code (SHBC) provides alternative building regulations for the rehabilitation, preservation, restoration or relocation of structures identified as historic buildings. Unlike standard building codes which are mainly oriented towards life safety in new construction, the intent of the SHBC is to provide reasonable safety from life threatening situations such as fire while preserving the historic value of a structure. This alternative code can greatly facilitate the conservation of significant structures and its use is strongly encouraged.

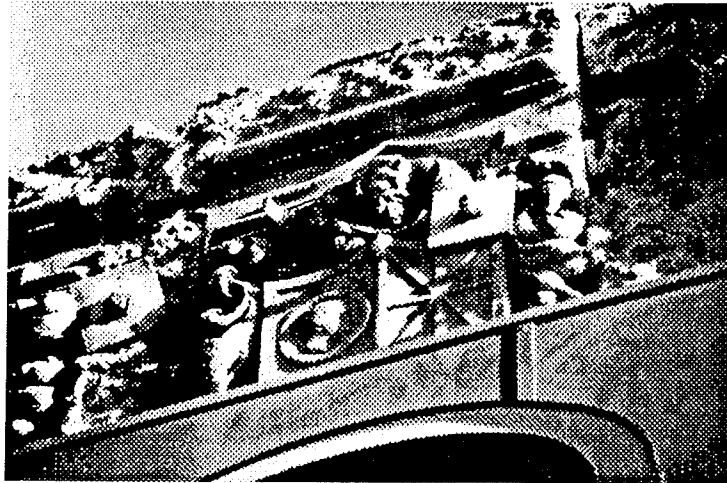
City of Los Angeles departments typically require building permit applicants and their architects and/or engineers to take the lead in demonstrating how the SHBC pertains to a particular project. The goal is to show how an alternative method, which does not impact the historic integrity of the structure, provides equivalent safety

### J. Conservation Incentives

The following recommended incentive provisions encourage the rehabilitation and reuse of Hollywood's historic buildings.

#### 1. Urban Conservation Program

As outlined in Chapter 9, Implementation, ~~Sections 9.2.B.5 and 9.2.C.6,~~ the Hollywood Boulevard District Urban Design Plan Implementation Program, the Agency should establish as part of the "Hollywood Redevelopment Workplan Program" an urban conservation program to assist in the funding and financing of projects involving rehabilitation or restoration of significant buildings.



**Figure 4-11**  
 When exterior anchors are used, every effort should be made to provide straight alignment, even spacing and consistent orientation of plates. Conflicts with architectural elements shall be avoided.



**Figure 4-12**  
 The blocking of windows is discouraged.



**Figure 4-13**  
 Alternative strengthening methods such as the use of shear frames placed within or behind window openings should be considered.

This urban conservation work program should include but is not limited to the following components.

a. Direct and/or Matching Grants

The Agency should provide direct and/or matching grants for proposals that include reuse and rehabilitation of significant structures.

b. Low Interest Revolving Loan Fund

The Agency should provide low-interest loans, or assistance in getting loans, for proposals that include reuse and rehabilitation of significant structures.

c. Density Purchases

The Agency should actively pursue the purchase of density rights from owners of significant buildings.

To ensure the linking of rehabilitation efforts with the continued need for affordable housing in the redevelopment project area, the following guideline is recommended should be observed by the Agency.

- A priority of the urban conservation program should be the rehabilitation of significant structures that include affordable housing units.

2. **Transfer of Floor Area Ratio (TFAR)**

In order to increase the incentive of property owners and developers to maintain, reuse, and rehabilitate significant structures, Section 511 of the Hollywood Redevelopment Plan allows for the transfer of floor area, or density, from sites which include significant buildings (donor sites) to receiver sites in designated receiver zones (see Figure 4-1314). Through the sale of this density, the donor property owner ~~or developer~~ realizes a financial gain which can be devoted to the rehabilitation of the significant buildings. The developer or property owner who buys the density for a receiver site is able to build a larger project.

Section 511 of the Hollywood Redevelopment Plan also states that the Agency shall obtain adequate assurances that the building from which the density transfer is taken are preserved and that the development on the site to which the density is transferred will occur in conformity to the Redevelopment Plan and any adopted Design for Development. Architecturally and/or historically significant buildings as defined by the Agency that are located within TFAR receiver zones, shall be subject to the same protections, procedures, and requirements which apply to other significant structures within the Hollywood Redevelopment Plan area.

In order to stimulate community-based rehabilitation projects the following policies for transfers of density are recommended shall be followed by the Agency.

- Transfers of floor area shall be subject to Agency approval and require an Owner Participation Agreement (OPA). In exchange for the right to transfer floor area, developers and/or property owners with donor sites shall be required to rehabilitate their buildings in accordance with the standards and guidelines of the Hollywood Redevelopment Plan and this Plan.

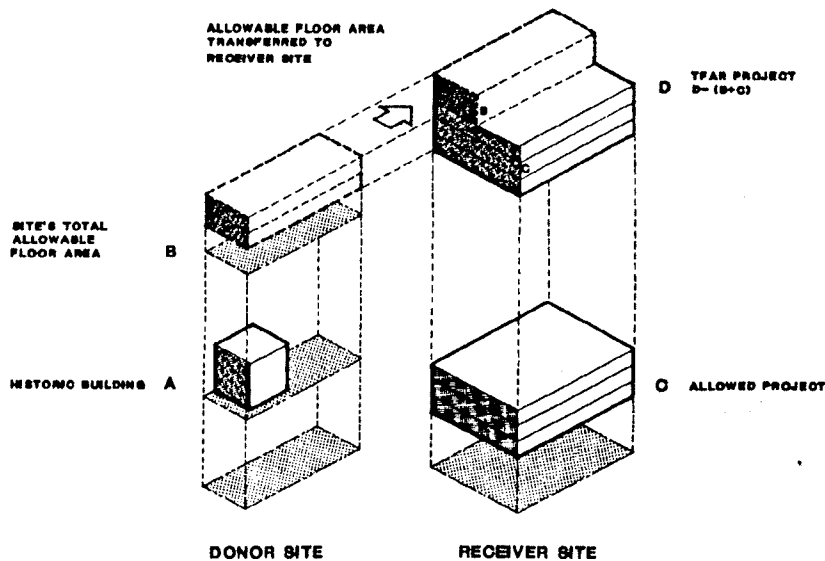


Figure 4-14

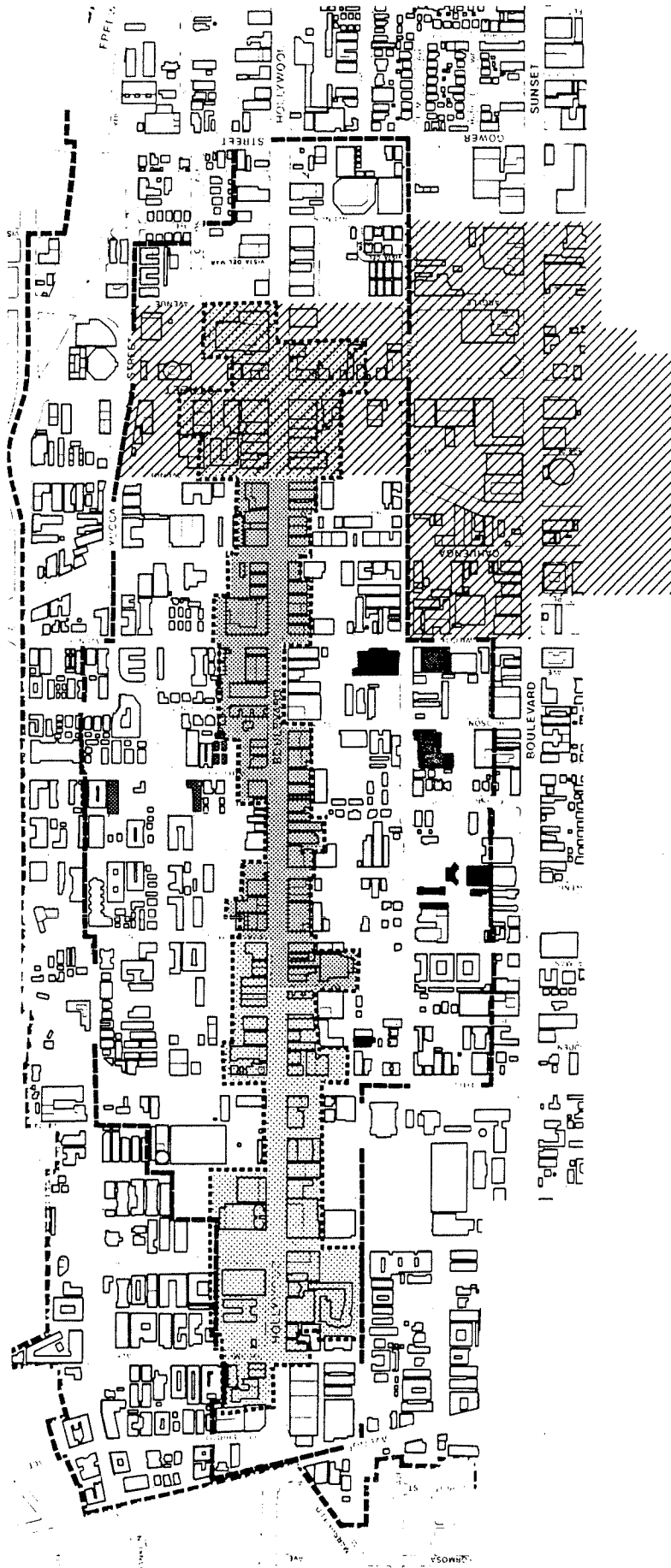
The owner of historic building A, transfers the site's total potential floor area B, to the owner of a receiver site, who then constructs a larger project D, equal in area to B + C.

- Priority should be given to the facilitation of transfers of floor area from sites located within the Main Street subdistrict to a receiver zone as outlined in Figure 4-14<sup>15</sup>.
- ~~Transfers of development rights shall be subject to Agency approval and require an Owner Participation Agreement (OPA). In exchange for the right to transfer floor area, developers and/or property owners with donor sites shall be required to rehabilitate their buildings in accordance with the standards and guidelines of the Redevelopment Plan and this Plan.~~
- A task force should be established by the Agency to develop a consistent TFAR valuation methodology and process. The following parameters regarding transfers of density should serve as the basis for this task force's discussions and ~~should~~shall be used by the Agency on a case by case basis until such time as a specific Hollywood TFAR policy is adopted.
  - Donor Sites: The amount of density available for transfer should consist of the by-right maximum floor area of a site, excluding bonus density, as defined by the provisions of this Plan and the Hollywood Redevelopment Plan. The existing floor area of many of Hollywood's significant structures already exceeds this Plan's allowable maximum densities. ~~In order to~~To create a rehabilitation incentive for significant structures, regardless of their size, the existing floor area of significant buildings should not be considered in the calculation of total floor area available for transfer (see Figure 4-14).
  - Donor Site Prioritization: To stimulate rehabilitation within the community oriented Main Street subdistrict, transfers of density within this area should be prioritized for a period of time not to exceed five years following the adoption of this Plan. If the total transfers from this area exceed 300,000 square feet within five years, it is recommended that the priority area be increased to include all contributing buildings within the HBCED. In addition, buildings outside of these two priority zones that are listed on the





Hollywood Boulevard District  
Urban Design Plan

Figure 4-15

Revision 1



Legend

-  Donor Site Priority 1 Zone  
(Main Street Subdistrict Area of HBCEd)
-  Donor Site Priority Zone  
(Remaining contributing Buildings within HBCEd)
-  Individual Priority Sites  
(Outside HBCEd but listed on National Register, "determined eligible" or "appears eligible" for listing on National Register, or a designated City Historic Cultural Monument)
-  Receiver Area

National Register of Historic Places, or are determined eligible or appear eligible for listing and/or are City of Los Angeles Cultural Historic Monuments, should also have priority when considering potential transfers of density.

- Boulevard East Receiver Area: Potential receiver areasites should include those areas-ofwithin the Boulevard East and the Vine Street corridor as outlined in Figure 4-4415.

~~-----Boulevard East Urban Conservation Bonus/Public Benefit: To ensure that public benefits associated with urban conservation are realized when bonuses are granted, a minimum of 50% of the total value of public benefits realized in Boulevard East should shall be directed towards this Plan's urban conservation objective (see Chapter 3, Land Use and Density, Section 3.3.B.3).~~

### 3. Housing Incentive Units for Rehabilitation

Section 505.3 of the Hollywood Redevelopment Plan allows the Agency to authorize up to a 30% residential density bonus to provide for the preservation of significant structures. To realize this bonus, a property owner and/or developer shall be required to enter into a development or participation agreement with the Agency and submit a rehabilitation proposal which meets the requirements of the Hollywood Redevelopment Plan and upon adoption, this Plan.

### 4. Parking Requirement Reduction/Waiver

Many historic buildings were constructed without associated parking and one of the greatest financial and physical disincentives for rehabilitating these structures is providing current code required parking. The draft Hollywood Transportation Plan (HTP), Chapter 7, "Short and Long Range Parking Component," recommends that parking requirements for significant buildings be reduced or waived even when there is a change in use or occupancy. However, all existing parking associated with historic buildings is recommended to be maintained (see also HBD Chapter 6, "Transportation and Parking," Section 6.4.E.2).

In accordance with the HTP, occupants or tenants of significant buildings granted reductions in parking spaces may be required to participate in a parking management program. Owners/developers of new projects adjacent to significant buildings may also be required to participate in a parking management program and to provide parking spaces to tenants of rehabilitated historic buildings.

### 5. Transportation Impact Fees-Threshold

The proposed transportation impact fees discussed in the HTP, Chapter 9, "Financing and Implementation Plan," Section 9.2. ~~assess all new developments which generate more than 40 P.M. peak-hour trips. As a result, small to medium sealed rehabilitation projects may be relieved from this fee. This provides an indirect incentive for rehabilitation projects which fall below this threshold.~~ This Chapter of the HTP also recommends that the development impact fee for low and moderate income housing units be paid by the Agency. This creates an additional incentive for the rehabilitation of structures which incorporate affordable housing units.



## 6. Other Non-Agency Conservation Incentives

A variety of other incentives which encourage the rehabilitation of significant structures are available through other government agencies or through the use of other preservation mechanisms. Available programs include the following: Property owners or developers should check with Agency staff and/or a preservation consultant with regard to the status of the following programs and others that may become available in the future.

- Federal Rehabilitation Tax Credits: Tax credits for the rehabilitation and reuse of significant buildings offer significant economic incentives for preservation. A 20% credit for the rehabilitation of certified historic structures and a 10% credit for structures originally placed in service before 1935 are available in 1992.
- Conservation or Facade Easements: Conservation or facade easements provide an effective tool for ensuring the long term preservation of significant buildings. This mechanism entitles an owner of a historic building to a charitable tax deduction for the donated easement if the donation constitutes a "Qualified Conservation Contribution" to a "Qualified Organization".
- Property Tax Incentives: The State of California "Mills Act" provides incentives for the preservation of properties with historic significance by providing substantial reduction in assessed valuation of property. To participate, a property must be privately owned, qualify as historic, and the owner must enter into a contract with a legislative body to restrict the use of the property.

## K. Public Outreach (see also Chapter 9, Implementation, Section 9.2.C.5 the Hollywood Boulevard District Urban Design Plan Implementation Program)

When beginning a conservation project, property owners and/or developers should meet with Agency Staff and/or a preservation consultant to understand the full spectrum of current incentive programs and their applicability to a proposed project.

To inform District building owners, tenants, and residents about the conservation protections, incentives and programs of this Plan the following ~~policy is recommended~~ policies should be implemented by the Agency.

~~The following policy is recommended with regard to these incentive programs.~~

- The Agency should work with property owners, developers, and other City departments to realized the full use of conservation incentives such as Federal rehabilitation tax credits, conservation or facade easements, and use of the State of California Mills Act, and other conservation incentive programs as they become available.
- The Agency should establish a community outreach and education program. This program should include but is not limited to technical assistance in rehabilitation, conservation, preservation planning, preservation techniques, and materials describing the protections and incentive programs of this Plan. The outreach program should also focus attention on successful rehabilitation projects incorporating Hollywood's historic resources.
- In order to actively encourage rehabilitation projects, the Agency should issue on a regular basis Requests for Proposals to seek developers and property owners interested in rehabilitating historic structures.

## OBJECTIVE - CULTURAL REVITALIZATION

*Reinforce the Hollywood Boulevard District as a local, regional, and national cultural center through the protection, reinforcement and development of existing and new cultural uses, and facilities and the history of Hollywood*

### 4.4 CULTURAL REVITALIZATION OVERVIEW

The identity and visibility of Hollywood as a center for entertainment and culture, will be reinforced by nurturing Hollywood's existing resources and activities and by encouraging the development of new cultural activities, events, and facilities. Hollywood's fame as the entertainment capitol of the world and its continuing identity depends on maintaining the link to Hollywood's history. The recommended cultural revitalization programs and policies reflect these needs and include the following:

- A Hollywood ~~Public Art Program~~ Arts Plan consistent with the Agency's Public Art Policy (see Section 4.5.A, below),
- A cultural needs assessment program (see Section 4.5.B, below),
- A district identification program (see Section 4.5.C, below), and
- Density bonus for live entertainment use in Boulevard East (see Chapter 3, "Land Use and Density," Sections 3.2.A.5 and 3.3.B.3).

### 4.5 CULTURAL REVITALIZATION POLICIES/RECOMMENDATIONS/PROGRAMS

#### A. Hollywood Public Art Program Arts Plan

Section 512 of the Hollywood Redevelopment Plan requires that projects subject to an Owner Participation Agreement (OPA) or Development Agreement (DDA) with the Agency allocate a minimum of 1% of development costs, excluding land and off-site improvements, for a Development Project Art Plan (consisting of an Art Budget and a Site Art Plan).

~~A specific Hollywood Public Art Policy~~ Arts Plan, in conformance with a recommended the Agency's Public Art Policy, ~~currently is being developed with the community~~ was adopted in October of 1992. ~~The Hollywood Public Art Policy~~ Arts Plan will apply applies to Agency-initiated projects as well as all other development projects in Hollywood to projects which the Agency has facilitated and which are subject to a participation or development agreement.

~~It will~~ The Arts Plan guides a developer in defining a Site Art Plan and the application of the Art Budget. No more than sixty percent of the 1% art requirement may be used for the Site Art Plan. At least forty percent of the 1% art requirement shall be contributed to the Hollywood Cultural Trust Fund. The Site Art Plan should be reflective of and responsive to the unique qualities of the District and redevelopment project area and is expected to bring an artist into a project at the conceptual phase of a project to contribute from the start as a collaborating member of the project design team.

In keeping with the Agency's ~~recommended~~ Public Art Policy, commercial rehabilitation projects which require an OPA, DDA, or other Agency action and which meet the conservation standards of the Hollywood Redevelopment Plan and this Plan shall receive art obligation credits commensurate with the extent of historic rehabilitation. The Hollywood Redevelopment Plan Public Art Policy exempts Agency-facilitated affordable housing units from the Percent for Art requirement.

For more information regarding the Agency's Public Art Policy and Hollywood Arts Plan, staff of the Agency's Public Art Program should be contacted.

**B. Cultural Inventory and Needs Assessment**

The development and maintenance of an inventory of existing cultural activities, facilities, collections, and entertainment resources, and an assessment of future needs within the District is a priority of the first step in creating a Hollywood Public Arts Policy Plan. The ~~Agency is Hollywood undertaking a~~ cultural inventory and needs assessment for the redevelopment project area, must factor into its findings ~~and the goals and objectives of the Hollywood Boulevard District Urban Design Plan and the Hollywood Arts Plan will be factored into the findings of this cultural study.~~

**C. District Identification Program**

This history, myths, and traditions associated with Hollywood should be preserved and visibly accessible to all who enter the District. In order to better facilitate the telling of Hollywood's story and reinforce Hollywood's identity as a unique destination for Angelenos as well as tourists the following program ~~is recommended~~ shall be implemented by the Agency.

- A District Identification Program compatible with the Hollywood Walk of Fame, and ~~should be created and considered recognizing, but not limited to, the following elements, concepts, and guidelines shall be implemented.~~
  - :- The Boulevard District's significant structures.
  - :- Hollywood's commercial and entertainment history and the places where events occurred.
  - :- Pedestrian orientation and self-guided touring.
  - :- Murals and other public art.
  - :- The public signage recommendations of this Plan (see Chapter 7, "Built Form," Section 7.7.G).

**4.6 IMPLEMENTATION**

The urban conservation and cultural revitalization objectives of this Plan are implemented through the adoption of one or more Design(s) for Development, City Ordinance(s), and the establishment and funding of ~~a permanent~~ urban conservation work objectives within the redevelopment work program. For a more complete discussion of ~~the work program prioritization process see Chapter 9, Implementation~~ HBD implementation see the Hollywood Boulevard District Urban Design Plan Implementation Program.

## TABLE 4-A

### SIGNIFICANT BUILDINGS WITHIN THE HOLLYWOOD BOULEVARD DISTRICT

#### CONTRIBUTING BUILDINGS TO THE HOLLYWOOD BOULEVARD COMMERCIAL AND ENTERTAINMENT DISTRICT (HBCED)

6233 Hollywood Boulevard	(Pantages Theater)	7000 Hollywood Boulevard	(Hotel Roosevelt)
6253 Hollywood Boulevard	(Equitable Building)	6904 Hollywood Boulevard	(Seven Seas)
1735 North Vine Street	(Palace Theater)	6840 Hollywood Boulevard	(Masonic Temple)
6331 Hollywood Boulevard	(Guaranty Building)	6834 Hollywood Boulevard	(El Capitan/Paramount)
1714 North Ivar	(Knickerbocker Hotel)	6806 Hollywood Boulevard	
6349 Hollywood Boulevard	(Regal Shoes)	6800 Hollywood Boulevard	(Lee Drug)
6381 Hollywood Boulevard	(Security Trust)	1666 North Highland Ave.	(Max Factor Salon)
6423 Hollywood Boulevard	(Warner Theater)	6780 Hollywood Boulevard	(Bank of America)
6523 Hollywood Boulevard	(Holly Cinema)	6766 Hollywood Boulevard	(Hollywood Theater)
6531 Hollywood Boulevard	(Hillview Apartments)	6740 Hollywood Boulevard	(Millers Stationers)
6541 Hollywood Boulevard	(Janes Residence)	6724 Hollywood Boulevard	(Christie Hotel)
6553 Hollywood Boulevard	(Johnny's Steak House)	6718 Hollywood Boulevard	(Pig N' Whistle)
6601 Hollywood Boulevard	(Baine Building)	6708 Hollywood Boulevard	(Egyptian Theater)
6663 Hollywood Boulevard	(Musso & Frank's)	6652 Hollywood Boulevard	(Shane Building)
6679 Hollywood Boulevard		6630 Hollywood Boulevard	(Cherokee Building)
6701 Hollywood Boulevard	(Outpost Building)	6626 Hollywood Boulevard	(The Orient)
6743 Hollywood Boulevard	(Pickwick Books)	6606 Hollywood Boulevard	(S.H. Kress)
6755 Hollywood Boulevard	(Montmartre)	6600 Hollywood Boulevard	(J.J. Newberry)
6765 Hollywood Boulevard	(Wax Museum)	6554 Hollywood Boulevard	(Hollywood Toys)
6777 Hollywood Boulevard	(Security Pacific)	6542 Hollywood Boulevard	(Consumer Drug)
6925 Hollywood Boulevard	(Chinese Theater)	6436 Hollywood Boulevard	(Attie Building)
7001 Hollywood Boulevard		6400 Hollywood Boulevard	(Creque Building)
7021 Hollywood Boulevard	(Garden Court Apts)	6380 Hollywood Boulevard	(Julian Medical Building)
7051 Hollywood Boulevard	(Security Trust)	6362 Hollywood Boulevard	(Palmer Building)
7055 Hollywood Boulevard	(Stores)	6352 Hollywood Boulevard	(Leed's)
7065 Hollywood Boulevard	(Congregational Church)	6324 Hollywood Boulevard	(Hallmark)
7046 Hollywood Boulevard	(Hollywood Professional)	6300 Hollywood Boulevard	(Dyas Building)
7024 Hollywood Boulevard	(Arthur Murray)	1633 North Vine Street	(Plaza Hotel)
		1628 North Vine Street	(Hollywood Brown Derby)
		1632 North Vine Street	(Stores)
		1680 North Vine Street	(Taft Building)
		6264 Hollywood Boulevard	(Gilberts Books)

#### OTHER SIGNIFICANT BUILDINGS WITHIN THE HOLLYWOOD BOULEVARD DISTRICT

1765 North Highland Avenue	1752 Hudson Avenue
1737 Whitley Avenue	1805 Wilcox Avenue
1811 Whitley Avenue	1750 Vine Street
1825 Whitley Avenue	6776 Hawthorn Avenue
1720-32 Whitley Avenue	6671 Sunset Boulevard
1729 Hudson Avenue	6659 Sunset Boulevard
1733 Hudson Avenue	6627-57 Sunset Boulevard
1743 Hudson Avenue	6636 Selma Avenue
1747 Hudson Avenue	1553 Hudson Avenue
1746 Hudson Avenue	1545 Wilcox Avenue
	1615 Wilcox Avenue

## TABLE 4-B

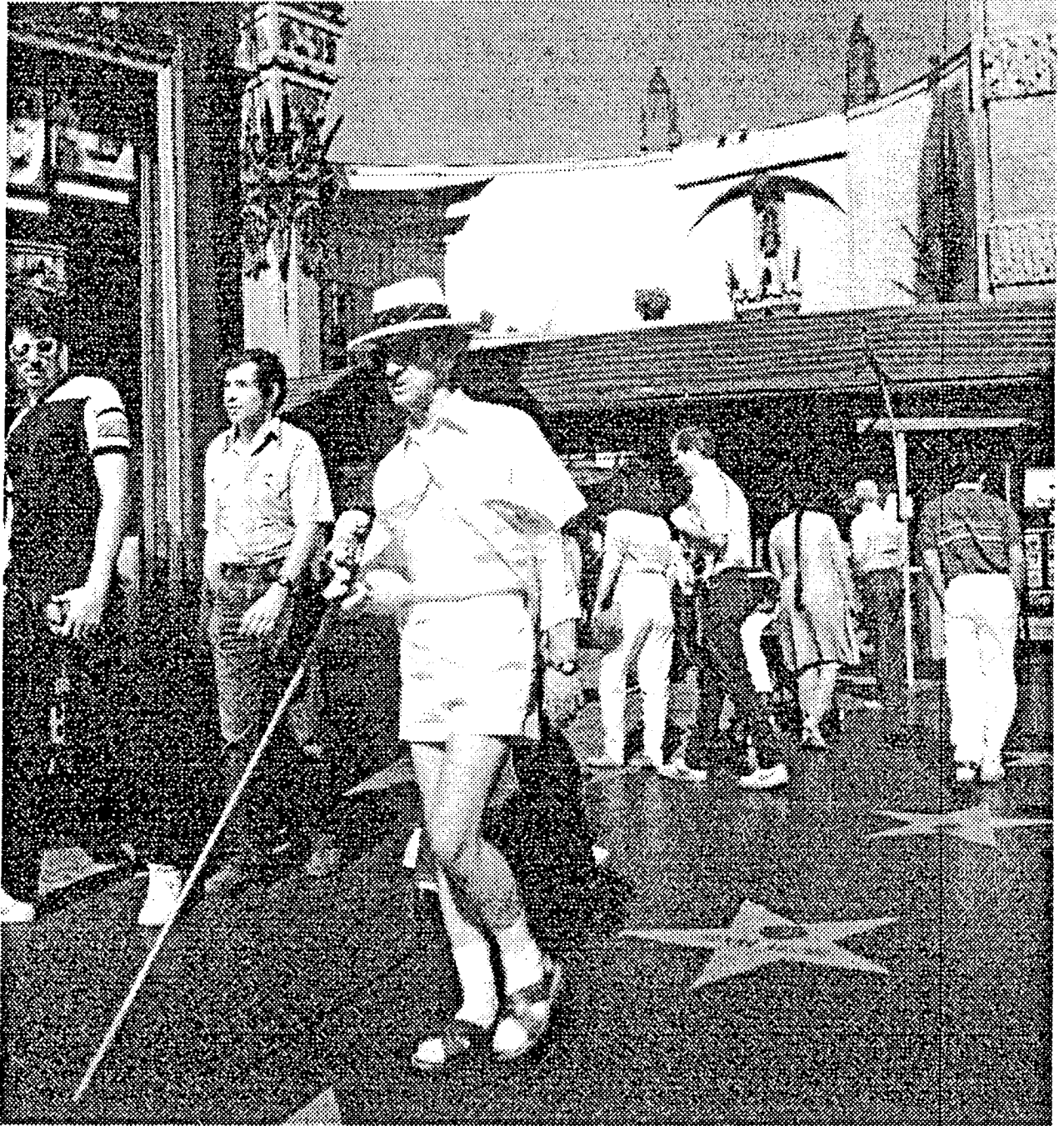
### NON-CONTRIBUTING BUILDINGS TO THE HOLLYWOOD BOULEVARD COMMERCIAL AND ENTERTAINMENT DISTRICT (HBCED)

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#### BUILDINGS WHICH ARE NOT LISTED AS CONTRIBUTING TO THE (HBCED)

6301 Hollywood Boulevard	(Laemmle Building)	6334 Hollywood Boulevard	(Stores)
6313 Hollywood Boulevard	(Sardi's)	6320 Hollywood Boulevard	(Stores)
6321 Hollywood Boulevard	(Vine St. Theater)		
6325 Hollywood Boulevard	(Stores)		
6363 Hollywood Boulevard	(Stores)		
6377 Hollywood Boulevard	(Stores)		
6401 Hollywood Boulevard	(Stores)		
6411 Hollywood Boulevard	(Stores)		
6413 Hollywood Boulevard	(Stores)		
6501 Hollywood Boulevard	(Stores)		
6505 Hollywood Boulevard	(Gitelson Building)		
6547 Hollywood Boulevard	(Stores)		
6549 Hollywood Boulevard	(Stores)		
6565 Hollywood Boulevard	(Stores)		
6629 Hollywood Boulevard	(Vogue Theater)		
6727 Hollywood Boulevard	(Artisan Patio)		
6739 Hollywood Boulevard	(Stores)		
6901 Hollywood Boulevard	(Chinese Annex)		
7038 Hollywood Boulevard	(Stores)		
7036 Hollywood Boulevard	(Parking Structure)		
6922 Hollywood Boulevard	(Max Factor Office Bldg.)		
6768 Hollywood Boulevard	(Stores)		
6758 Hollywood Boulevard	(Stores)		
6752 Hollywood Boulevard	(Stores)		
6700 Hollywood Boulevard	(Stores)		
6670 Hollywood Boulevard	(Stores)		
6662 Hollywood Boulevard	(Stores)		
6658 Hollywood Boulevard	(Stores)		
6624 Hollywood Boulevard	(Alexanders)		
6616 Hollywood Boulevard	(Stores)		
6614 Hollywood Boulevard	(Stores)		
6430 Hollywood Boulevard	(Stores)		
6418 Hollywood Boulevard	(Stores)		
6410 Hollywood Boulevard	(Woolworth)		
6374 Hollywood Boulevard	(Stores)		
6368 Hollywood Boulevard	(Palmer Building II)		
6356 Hollywood Boulevard	(Stores)		
6338 Hollywood Boulevard	(Stores)		



**Figure 5.1**  
The District's sidewalks and streets are its primary open space resource and a great place to walk.

## **5** **OPEN SPACE**



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## 5.0 OPEN SPACE

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### OBJECTIVE

*Preserve and enhance the District's primary open space network - the sidewalks and streets - and create a framework for the provision of additional public and private open space which complements the quality, character, and needs of the District, its neighborhoods, and Hollywood Boulevard.*

### 5.1 OVERVIEW

The recommendations, policies, standards, and guidelines of this Chapter enhance and reinforce Hollywood's identity as one of the best places to walk in Los Angeles (see Figure 5-1). Acknowledging Hollywood's urban character, ~~many of the proposals~~ the policies of this Chapter are directed towards improving the quality of the sidewalk experience and providing small green areas for passive recreation and observation of the passing scene. The ~~recommendations~~ goals of this Chapter include;

- The development of Highland Avenue and Vine Street as tree lined vehicular/pedestrian boulevards linking Hollywood to the surrounding region and culminating in the pedestrian intensive Boulevard (see Figure 5-2),
- Upon arrival into Hollywood, the enhancement of the pedestrian quality and identity of the Boulevard through sidewalk ~~widenings~~ improvements, tree plantings and the development of an open air Community Market Plaza centered between Highland and Vine,
- A district-wide tree planting program,
- The creation of neighborhood and linear street parks giving focus to the emerging Boulevard North and Boulevard South residential communities, and
- Policies, standards, and guidelines for view corridors, residential landscape, and surface parking lots to "green" the District.

As the proposed improvements are realized (see Figure 5-34), residents, workers, and visitors to Hollywood can look forward to an environment which complements Hollywood's traditional streetscape and reinforces the enjoyment of this area's neighborhood, retail, commercial, and entertainment districts.

### 5.2 PUBLIC OPEN SPACE DEFINITION

Public streets and sidewalks as well as a variety of semi-private and private open spaces, such as the forecourt to the Chinese Theater or the ~~numerous~~ courtyards of numerous bungalow complexes, contribute to Hollywood's unique sense of place (see Figure 5-43). The creation of additional public and private open space integral to the development of new and rehabilitated buildings is strongly encouraged by the ~~recommendations~~ provisions of this Plan. To avoid confusion regarding what is considered "public open space", the following definition is ~~recommended~~ shall be adhered to by the Agency within the Hollywood Boulevard District.

- Any space which is directly accessible from a public street or sidewalk, and through or in which there is a right of community, and as appropriate, vehicular passage, shall be considered public open space. Public open space should be open to the natural elements to the maximum extent feasible.

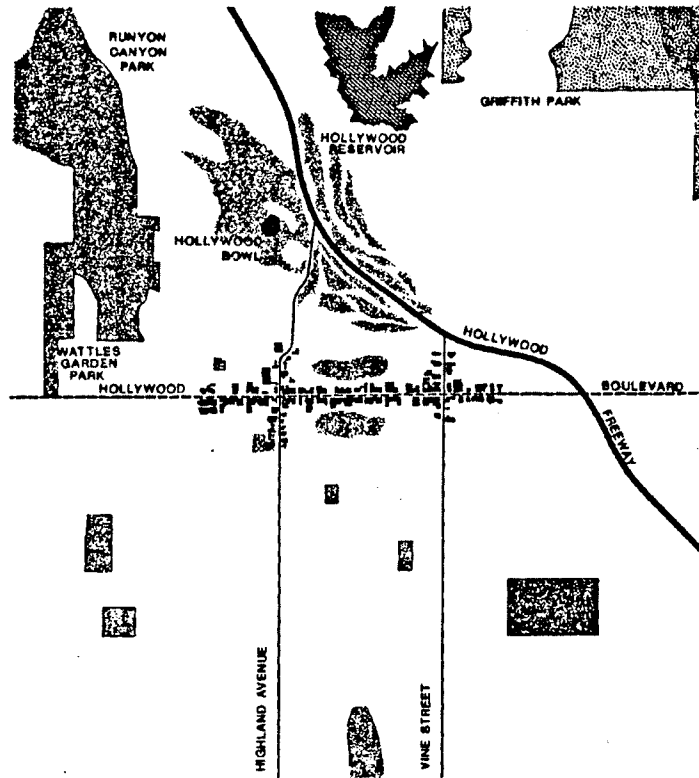


Figure 5-2

Street tree and sidewalk improvements are proposed for the major boulevards crossing the District.

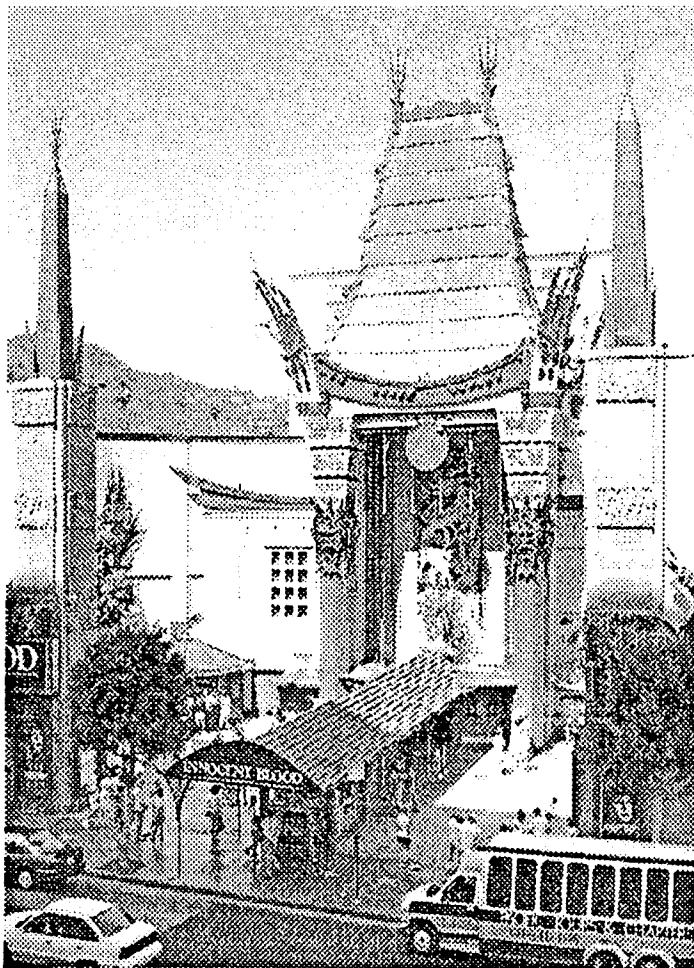
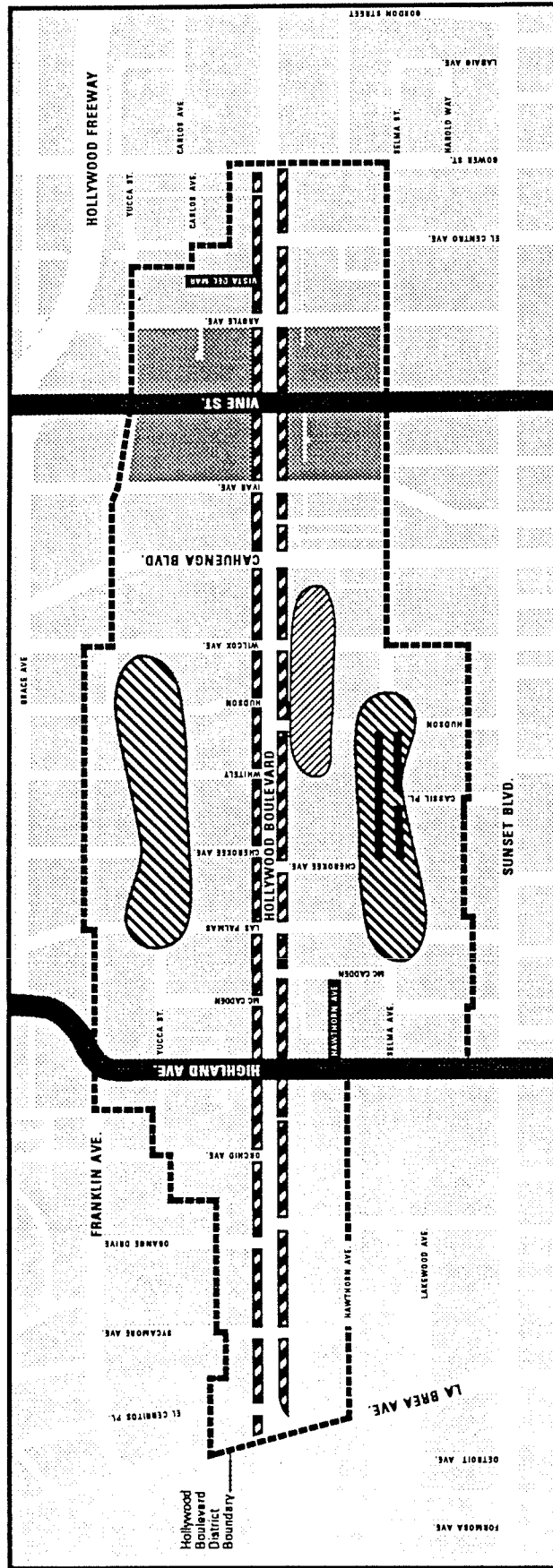


Figure 5-3.







For many visitors, Hollywood is symbolized by one semi-private open space, the forecourt of the Chinese Theater.

Figure 5-4

Boulevard District Open Space Plan



Legend

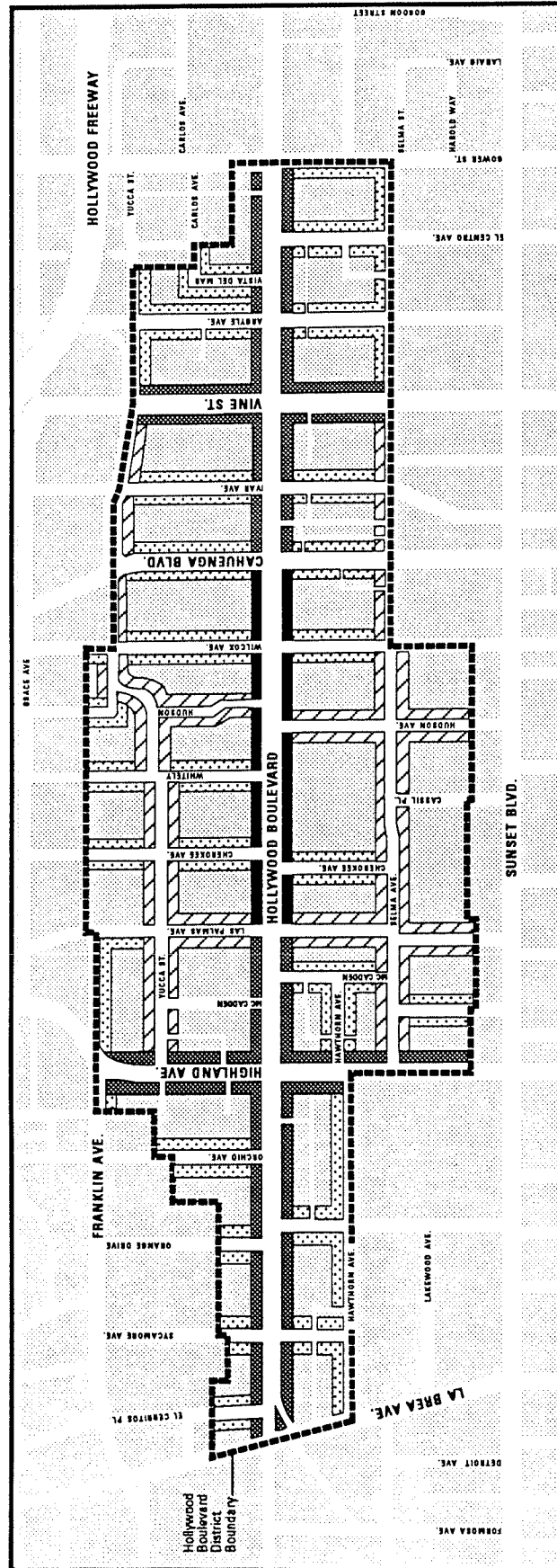
-  Hollywood Blvd. Sidewalk Improvements
-  Vehicular / Pedestrian Gateways
-  Bonus Density for Provision of Off Site Open Space
-  Area for Community Market Plaza
-  Linear Street Parks
-  Area for Neighborhood Parks



Street Tree Planting Concept

Figure 5-5

Hollywood Boulevard District  
Urban Design Plan



Legend

- Palms with Flowering Trees
- ▨ Palms with Deciduous Trees
- ▧ Flowering Trees
- ▩ Evergreen Trees



- The Agency should work with the community and the Street Tree Division of the Department of Public Works to develop an ongoing pruning and street tree maintenance program for the District.
- As a means of funding ongoing street tree maintenance, the establishment of a Boulevard District street tree and maintenance assessment zone should be considered.

**3. Street Tree Improvement Work-Objective Implementation**

~~Chapter 9, Implementation, Sections 9.2.B and 9.2.C~~ The Hollywood Boulevard District Urban Design Plan Implementation Program outlines the creation of a process for funding "Street Tree Improvements" work objective. The purpose of this objective is to prioritize and fund the tree planting objectives of this Plan. As discussed in Chapter 9 the Program, one of the first steps to be undertaken as part of this objective priorities of plan implementation is should be the development of specific tree selection, landscape, and maintenance standards in conjunction with the development of design specifications for the Hollywood Boulevard improvements described below.

**B. Hollywood Boulevard Improvements**

Hollywood Boulevard should be one of Los Angeles' great public promenades. The Boulevard's historic streetscape serves as Hollywood's outdoor community center, shopping district, site of the Hollywood Christmas Parade, and gathering place for residents, workers, and visitors. For many people the Boulevard is their first impression of Hollywood; it should be positive and encourage a desire to return again and again.

To enrich the pedestrian experience and positively influence the historic and retail identity of the District, ~~recommended~~ the following guidelines for the visual and functional enhancement of the Boulevard are ~~proposed~~ established (see Figures 5-6 and 5-7). These improvements include the following.

- ~~A uniform 4-foot sidewalk widening from Gower Street to La Brea Avenue and enhancement of the Walk of Fame (see Figures 5-6 and 5-7).~~
- Palms interspersed with different shade and decorative tree types marching the length of the Boulevard and creating a visually striking and continuous pedestrian zone protected from the sun and buffered from traffic (see Figures 5-7 and 5-8).
- ~~Additional-Selective~~ sidewalk widenings, typically where north-south streets terminate at the Boulevard.
- New lighting, street furniture, crosswalks and signage.

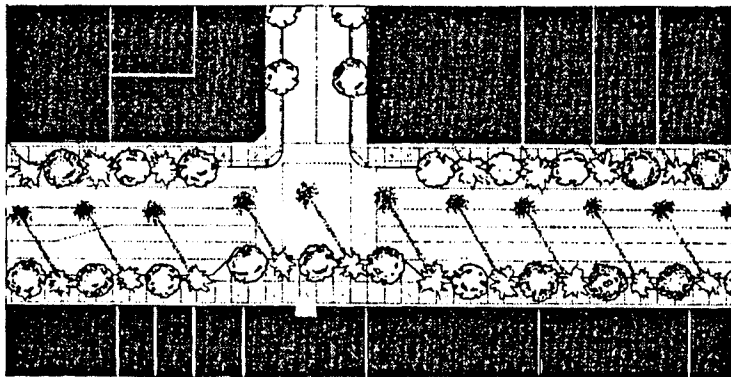
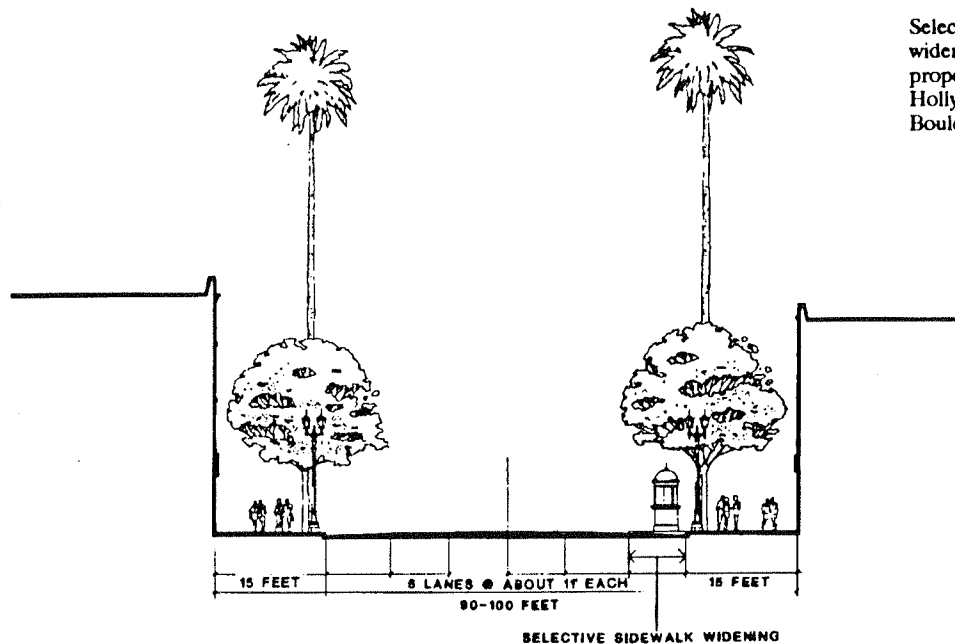


Figure 5-6  
Guidelines for improvements shape the visual and functional improvement of Hollywood Boulevard.

Figure 5-7

Selective sidewalk  
widening is  
proposed on  
Hollywood  
Boulevard.



The following policies and guidelines are recommended to facilitate the development of design specifications for the Boulevard.

## 1. Hollywood Boulevard Sidewalk Widening and Improvements

### • Selective Sidewalk Widening

- To provide for expected increases in the pedestrian use of the Boulevard, to enable the comfortable use of the Boulevard's sidewalks for enlivening activities such as observing the Hollywood Christmas Parade or outdoor dining and to provide an increased sidewalk amenity zone, a uniform 4 foot widening of the Boulevard sidewalks from the present 15 feet to 19 feet is recommended (see Figure 5-7).
- Where McCadden Place, Cherokee Avenue, Whitley Avenue, and Hudson Avenue have staggered intersections with the Boulevard, additional 40-foot sidewalk widenings to increase the amenity areas for landscaping, dining, performance, vending, observing parades, sitting, and/or relaxing is are recommended proposed. Selective sidewalk widenings, or "bump-outs," should not exceed 130 feet in length (see Figure 5-6).
- The selective widening of the Boulevard sidewalks necessitates restriping the roadway. Sufficient levels of vehicular service should be maintained by undulating lane striping and limiting left turn movements to necessary intersections.

- **Sidewalk Improvements**

- Improvements to Boulevard sidewalks shall be integrated with the Walk of Fame. Consideration should be given to using materials such as pavers which are removable and ease ongoing sidewalk maintenance. The Walk of Fame is a City of Los Angeles Cultural Heritage Monument and all changes will require review by the City Cultural Heritage Commission.
- The Agency, working with the Rail Construction Corporation and other appropriate Agencies and City Departments shall seek to locate, to the maximum extent feasible, all vents and shafts associated with Metro Rail construction away from the Walk of Fame.

- **Boulevard Lighting**

- ~~Existing cobra style lighting fixtures from the late 1950s should be replaced, wherever feasible, with the District's original lighting standards (see Figure 5-9). These fixtures are still available new from the original manufacturer who designed them specifically for Hollywood in the early 1920s. In order to sufficiently light both the sidewalk and the street a dual lighting system should be considered.~~
- The light fixtures installed along Hollywood Boulevard in the 1920s are still available from the original manufacturer who designed them specifically for Hollywood. These historic fixtures, as well as other appropriate lighting standards, should be considered when replacing existing cobra style lighting from the 1950s which is not in keeping with the Boulevard district's period of historic significance. Community input shall also be considered before a replacement lighting system for the Boulevard is finalized.
- To create a sense of night time drama, consideration should be given to uplighting the Boulevard palms as well as installation of dramatic decorative lighting such as klieg lights or lasers at Hollywood and Vine and Hollywood and Highland.

- **Crosswalks**

- Crosswalks incorporating special materials such as granite pavers, tinted concretes, different colored asphalt pavers, bricks or even distinctive painting should be considered. Crosswalk materials should be designed to be easily removable to facilitate street maintenance.

- **Street Furniture**

- Hollywood Boulevard's existing street furniture, including planters, newspaper racks, signage and waste cans, is not in keeping with the historic district's period of significance and in many locations constricts the effective pedestrian width of the sidewalk. Existing street furniture should be removed and new standards for waste cans, newspaper racks, benches, telephones, information kiosks and signage developed.

- A minimum of four public water fountains should be placed between Vine Street and Highland Avenue.
- Consideration should be given to the development by artists of special tree grates which identify and celebrate the activities and history of the Boulevard West, Boulevard East and Main Street subdistricts.

## **2. Hollywood Boulevard Street Trees and Landscape Amenities**

- To unify the identity of the Boulevard and recall the drama of Los Angeles' historic streetscapes, tall palms such as the Mexican Fan Palm (*Washingtonia robusta*) or similar should be planted on 40 foot centers from Gower Street to La Brea Avenue.
- At Hollywood and Vine and Hollywood and Highland, shade trees such as Ficus (*Ficus nitida*) or similar should be interspersed between the taller Boulevard palms (see Figure 5-8).
- Within the Main Street subdistrict, a finely leaved flowering tree such as Jacaranda (*Jacaranda mimosifolia*), Tipu (*Tipuana tipu*), or similar should be interspersed between the Boulevard palms.
- Consideration shall be given to maintaining existing Hollywood Boulevard ficus trees.
- ~~The provision of flower beds at tree bases, a~~ Additional parkway planting areas and hanging flower planters from light and signage standards should be considered.
- A deep water bubbler irrigation system should be provided along the length of the Boulevard.

## **3. Hollywood Boulevard Replacement Parking**

- ~~The widening of Boulevard sidewalks will necessitate the removal of 50 curbside parking spaces from the 185 that currently exist, and 8 of the 40 loading areas. In order to maintain the convenience of community shopping, curbside parking spaces that are removed from Hollywood Boulevard should be replaced before a sidewalk widening program is implemented at a ratio of two spaces for every curbside parking space removed. Loading areas should also be replaced by alternative loading locations before sidewalk widening occurs (see Chapter 6, Transportation and Parking).~~

## **4.3. Hollywood Boulevard Improvements Work Objective Implementation**

~~As outlined in Chapter 9, Implementation, Sections 9.2.B and 9.2.C, The Hollywood Boulevard District Urban Design Plan Implementation Program implementation of the design guidelines outlines a process for funding improvements to Hollywood Boulevard is carried out through the establishment of a recommended permanent "Hollywood Boulevard Improvements" work objective development of an annual work program. The first priority of this work program should be the development, with input from the community, Agency, and other City departments of design specifications based upon the guidelines of this plan.~~

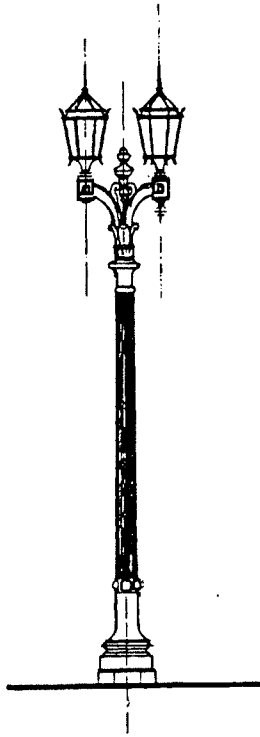


Figure 5-9

Fixtures designed specifically for Hollywood in the early 1920's should be use wherever possible.

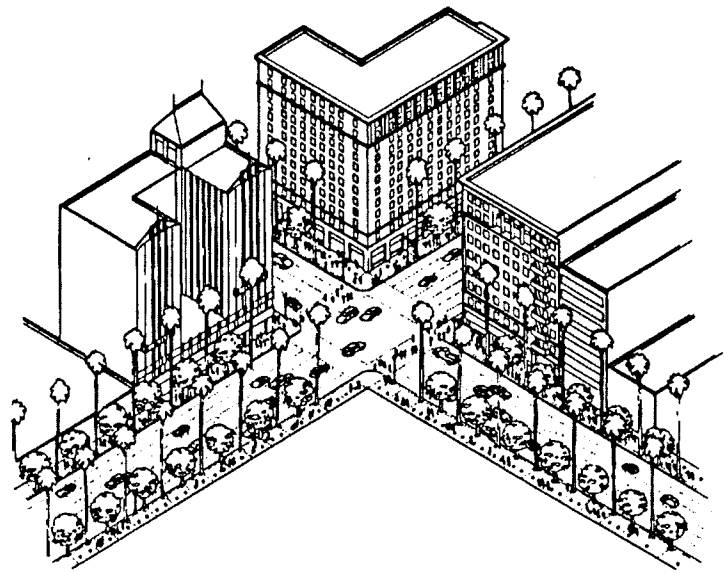


Figure 5-8

Palms interspersed with shade trees create a visually striking pedestrian zone protected from the sun and buffered from traffic.

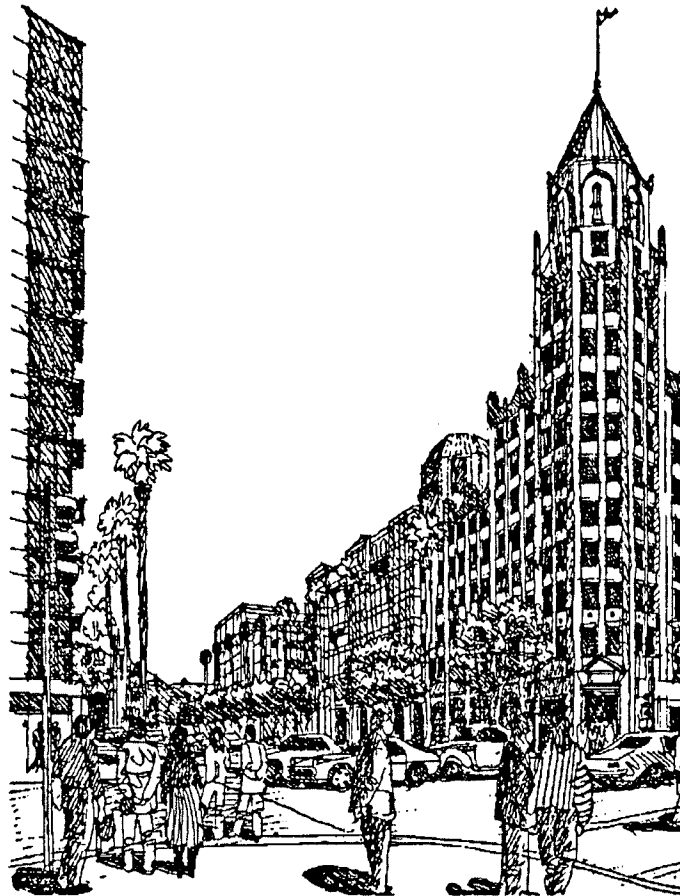
### C. Highland Avenue and Vine Street Improvements

In contrast to the east-west pedestrian movement of Hollywood Boulevard, Highland Avenue and Vine Street are primary vehicular/pedestrian gateways into Hollywood (see Figure 5-1). South of Melrose, Highland is divided by a palm tree lined median. North of the District, Highland Avenue culminates in the greenery of the Hollywood Bowl parkscape. South of Melrose, Vine Street is also a tree lined street with a mature canopy. Moving north, this street dramatically approaches a backdrop of green hills.

The following street and sidewalk design policy and guideline is ~~recommended~~established for these two streets and should be coordinated with developers and other City departments that will facilitate the implementation of these improvements (see Figure 5-10; for further discussion of Highland Avenue right-of-way recommendations see Chapter 6, "Transportation and Parking").

- Establish Highland Avenue and Vine Street as tree lined vehicular/pedestrian gateways to Hollywood. Along these two streets, visually link the Boulevard District with the Hollywood Bowl and the residential communities to the north and south by uniformly improving the sidewalks and planting on 40 foot centers boulevard-defining palm trees (*Washingtonia robusta* or similar) interspersed with *Ficus* (*Ficus nitida* or similar) from the Hollywood Hills to Melrose Avenue.

Figure 5-10  
Highland Avenue is a tree lined vehicular/pedestrian gateway to Hollywood.



**D. Other Sidewalk and Street Policies and Guidelines**

The goal of the following additional sidewalk and street policies, standards, and guidelines is to maintain the integrity of Hollywood's street grid and reintroduce landscape to the District's environment.

**1. View Corridors**

From the pedestrian's perspective, Hollywood Boulevard is contained by spectacular glimpses of the Hollywood Hills to the north and architectural landmarks to the south (see Figure 5-11). The following policies are recommended shall be observed by the Agency.

- View corridors outlined in Figure 5-11 shall not be obstructed by the construction of overhead bridges or other new structures.
- View corridors to the north and south should be visually reinforced by the development of building forms which mark the termination or jogging of the existing street grid.

**2. Parkway Plantings**

A major improvement to Hollywood's residential street and sidewalk environment can be accomplished by creating sidewalk parkways where only concrete presently exists. The following policies are recommended shall be observed.





- Curbside parkway plantings should be provided as part of any new construction or substantial rehabilitation project within the Residential Mixed Use and Residential land use areas (see Chapter 3, "Land Use and Density," Figure 3-4).
- Parkway specification standards and maintenance procedures should be developed as part of the Street Tree Improvement Implementation program discussed in Section 5.3.2A above.

### 3. Setbacks

Hollywood's streets and sidewalks are open air rooms defined by the adjacent building's street walls. To maintain the integrity of this existing pattern, building setbacks compatible with existing setbacks ~~should~~shall be maintained. Discussion of ~~recommended~~required building setbacks is found in Chapter 7, "Built Form," Section 7.4.

### 4. Handicap Accessibility to Boulevard District Sidewalks

Agency staff shall work with appropriate City Departments to immediately implement the installation of pedestrian curb cuts within the Boulevard District and shall require all public improvements in which the Agency is participating to incorporate curb cuts and other elements which maximize handicap accessibility.

## 5.4 PUBLIC PARKS

Hollywood is surrounded by regional parks that offer a variety of active recreational opportunities (see Figure 5-2). Within the District, other than the sidewalks and streets, little public open space currently exists. To augment the sidewalks and streets, the creation of small neighborhood parks and street parks created from underutilized street right of ways ~~is recommended~~will achieve a major objective of this Plan (see Figure 5-3).

### A. Neighborhood Parks

The creation of neighborhood parks reinforces the commitment to further develop residential communities in Boulevard North and Boulevard South (see Figure 5-12). The following policy and guidelines ~~are recommended~~shall be observed by the Agency.

- To serve as quiet but well observed community focuses, one public neighborhood park ~~should~~shall be developed in both Boulevard North and Boulevard South with the following guidelines.
  - Neighborhood parks should be oriented towards passive recreation; i.e. green areas where neighbors meet and toddlers play, areas where a book can be quietly read or a pick-up game of chess or checkers pursued.
  - To provide community and geographical focus, neighborhood parks should be located towards the center of Boulevard North and Boulevard South (see Figure 5-34).
  - When selecting neighborhood park sites, the expansion of existing public open space within or adjacent to the Boulevard District should be considered.

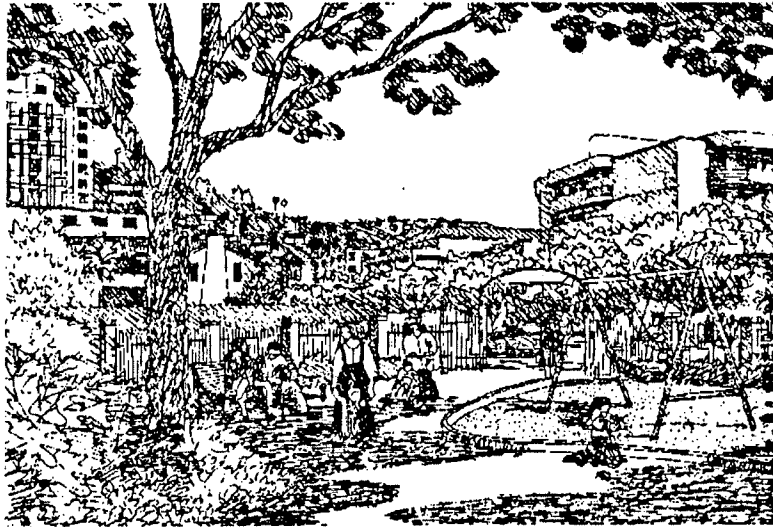


Figure 5-12  
Small Neighborhood parks will be integrated with the development of residential communities north and south of the Boulevard.

- When selecting neighborhood park sites, open areas which can be easily observed from surrounding residential uses ~~should~~shall be prioritized.
- Consideration ~~should~~shall be given to integrally designing neighborhood parks with the development of new housing in Boulevard North and Boulevard South. This sharing of uses and space will help ensure a ready constituency who will use, watch over, and care for the neighborhood's open space.
- To ensure that neighborhood parks are not impacted by the shadows of taller structures solar exposure ~~should~~shall be considered when selecting sites.
- Neighborhood parks should be a maximum of 15,000 square feet in size.
- To address safety and security issues neighborhood parks ~~should~~shall be securable.
- Hardscape should be minimized in the design of neighborhood parks and equipment for toddlers should be provided.
- Agency staff shall work with community groups, the Department of Parks and Recreation, and the Los Angeles Police Department to develop appropriate maintenance and security programs in conjunction with the design and development of neighborhood parks.
- The design of all neighborhood parks shall include participation of the community in the planning and programming process.

**B. Linear Street Parks**

Where anomalies in Hollywood's street grid occur, opportunities exist to create open space in underutilized right of ways. ~~One such opportunity is the Boulevard sidewalk widenings described in Section 5.3.B above. Another~~One such opportunity for new open space is the area of streets which are not contiguous with Hollywood's gridiron pattern. The following policy ~~is recommended~~shall be observed by the Agency.

- Pedestrian oriented linear parks should be developed in the street right of ways at Hawthorn Avenue east of Highland and Vista Del Mar north of Hollywood Boulevard (see Figure 5-34). These public parks should serve as pedestrian links and gateways to and within the adjacent residential neighborhoods.

The potential closing of these two streets has been incorporated into planning for the Hollywood Transportation Plan.

**C. Shared Use of Open Space at Public Schools/Selma Avenue Linear Park**

Hollywood High School and the Selma Avenue Elementary School have grounds which should be utilized for active community recreational uses. Access to these grounds could be facilitated through minor physical improvements and adjustment of existing policies which limit use when school is not in session. Fences could be set back, creating linear park opportunities. Front yards could be designed to encourage use by the surrounding neighborhoods. Neighborhood recreational programs and after school programs such as L.A.'s Best could be encouraged to utilize these spaces. The following policies ~~are recommended~~ shall be observed by the Agency.

- The Agency ~~should~~ shall work with the Los Angeles Unified School District and other City departments to facilitate shared use of the School District's outdoor recreational facilities.
- The Agency ~~should~~ shall work with the Los Angeles Unified School District and other City departments to develop a linear park on the north side of Selma Avenue between Cherokee Avenue and Hudson Avenue (see Figure 5-34). This work shall include the development of a landscape setback for the site.

This latter policy is reinforced by a ~~recommendation~~ the following policy;

- for 157 1/2 foot setbacks shall be maintained along the north and south sides of Selma Avenue outlined in Chapter 7, Built Form, Section 7.4.

**D. Hollywood Open Space Work Objective Program Implementation**

~~Chapter 9, Implementation, Section 9.2.B recommends~~ The Hollywood Boulevard District Urban Design Plan Implementation Program proposes the establishment of a process for the funding of a "Hollywood Open Space" objectives to fund including the acquisition and development of public open space within the Boulevard District. Discussion of recommended funding levels, commitments and prioritization of open space objectives are also discussed in Sections 9.2.C and 9.2.E of Chapter 9 the Program.

**E. Density Bonus for the Provision of Offsite Public Open Space**

In the Boulevard East subdistrict, as discussed in Chapter 3, "Land Use and Density," Section 3.3.B.3, density bonuses ~~are recommended~~ may be granted by the Agency for the development of offsite public open space including but not limited to the provision of neighborhood parks and street parks.

**5.5 COMMUNITY MARKET PLAZA**

To give focus to the middle portion of the Boulevard, reinforce the establishment of neighborhoods north and south of the District, and provide a permanent space for community services, events, and open air retailing, a Community Market Plaza is ~~recommended~~ proposed for the south side of the Boulevard towards the center of the Main Street subdistrict (see Figure 5-34). The following policies and guidelines ~~are recommended~~ shall be observed by the Agency.

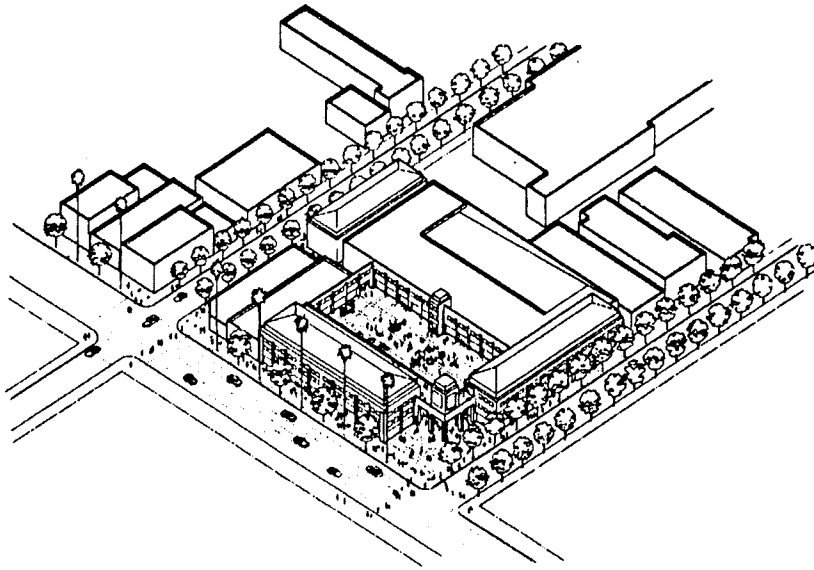


Figure 5-13

A Community market plaza is proposed for the south side of the Boulevard in the Main Street subdistrict and incorporates retail uses including a farmers market or supermarket, residential or commercial uses, parking, public restrooms, and open space.



Figure 5-14

The community market plaza is organized around a public open-air courtyard.

- The Community Market Plaza should include approximately 60,000 square feet of ground floor food-oriented retail, 120,000 square feet of residential and/or commercial construction and appropriate parking. The Plaza should incorporate either a permanent farmer's market or supermarket (see Figure 5-13).
- The focus of the Community Market Plaza should be a public open-air courtyard. The ground floor could be arcades open to the Boulevard allowing for the installation of market stalls. The courtyard itself could be used for additional stalls, outdoor dining and/or performance (see Figure 5-14).
- The Community Market Plaza should include publicly accessible bathroomsrestrooms and water fountains.
- In conjunction with the future development of the Community Market Plaza, consideration shouldshall be given to establishingmaintaining athe weekly or semiweekly Farmer's Market south of the Boulevard.

## 5.6 OFF-STREET OPEN SPACE POLICIES, STANDARDS AND GUIDELINES

### A. Residential Landscape Policies, Standards and Guidelines

Chapter 7, "Built Form" includes discussion of recommended policies, standards and guidelines to maintain the integrity of existing front yard setbacks, ensure separation between structures, maintain privacy between adjoining properties, integrate indoor with outdoor spaces, and where appropriate, continue the Hollywood pattern of individual buildings set onto landscaped sites with clearly differentiated front, side and rear yards. The following recommended landscape policies and guidelines complement these built form standards.

- Where front yard setbacks are greater than three feet, minimum three foot planting strips shall be provided adjacent to the front building plane.
- Minimum two foot planting strips shall be provided along at least 75% of the length of side property lines.
- Minimum four foot planting strips shall be provided along at least 75% of the length of the rear property line.
- A minimum of one 24 inch box tree, capable of a mature height of 40 feet shall be planted for each 500 square feet of on site open space.
- Mechanical irrigation of landscaped areas shall be provided.
- To the maximum extent feasible water conserving and xeriscape plant materials should be utilized.

### B. Commercial Open Space Policies, Standards and Guidelines

The open space associated with commercial land uses in the District is typically the streets and sidewalks. The character of these spaces is shaped by the sidewalk, streetscape, and built-form standards of this Plan. Particular reference should be made to Chapter 7, "Built Form," Section 7.4.A.. The following policy ~~is recommended~~ shall be observed by the Agency:

- At grade, private commercial open space should be clearly related to and visible from the public sidewalks and ~~respect~~ be complimentary to the prevailing streetwall setback. The activities of private open spaces in the interior of projects or of blocks should be subordinate and complementary to the activities of the adjacent public sidewalks and streets. For example, internally-oriented, enclosed, and mechanically ventilated shopping malls are strongly discouraged.

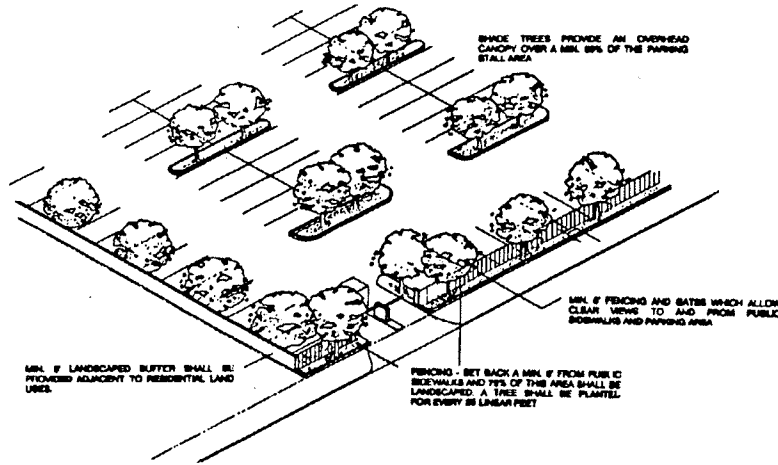
### C. Surface Parking Lot Standards and Guidelines

Thought of as an open space resource, surface parking lots can positively contribute to Hollywood's identity. The following surface parking lot standards and guidelines ~~are recommended for~~ apply to all new or reconstructed surface parking lots (see Figure 5-15). These guidelines are in general conformance with the City of Los Angeles Department of Planning document, "Draft Guidelines K for Vehicular Use Areas [12.42.04 B], revised May 1, 1992, which should be referred to in its entirety.

- At least 5% of all surface parking lot areas, excluding landscape buffers, as delineated herein, shall be landscaped with appropriate trees, shrubs and ground cover. Any landscaped area in excess of that required for buffering may be applied to this requirement.

Figure 5-15

Recommended surface parking lot standards require landscaping and shade, security lighting, fencing, and a buffer zone between parking and adjacent sidewalks.



- Lots shall be planted with trees at a ratio of one tree for every four surface parking spaces. Shade trees shall be located to provide an overhead canopy over a minimum 50% of the parking stall area after 10 years of growth when the sun is at its zenith at local solar time at the summer solstice. Placement of trees shall be coordinated with lighting, as required by the Los Angeles Municipal Code. A minimum of 50 square feet of unpaved area shall be provided at the base of each tree, the minimum dimension of which shall be 5 feet, to allow for water infiltration, gas exchange, and to avoid conflicts between car door swings and bumpers, and trees. The planted area under bumper overhangs may be utilized as part of the unpaved area.
- In parking lots of 50 or more spaces, a maximum of fifty percent of the trees in the preceding guideline may be substituted by vine-covered ramadas, whose placement, together with required trees, will shade at least 50 per cent of the parking area in summer after 10 years of growth when the sun is at its zenith at local solar time at the summer solstice.
- All trees required by this guideline shall be a minimum of 24" box in size, except for existing trees, and except for trees whose planting in such size would be horticulturally inappropriate. In order to encourage horticultural diversity, unusual trees available only in smaller sizes may be planted.
- The area under bumper overhangs shall be landscaped. Such areas shall be a minimum of 24" deep, and shall contain no plant, irrigation device, or other object higher than 6" above the top of the curb.
- In any planting area adjacent to the side of a parking stall, starting at a distance of 4 feet from the head of the parking stall, no tree may be planted within 4 feet of the parking stall, to allow for door swings of parked cars.
- ~~Landscaped areas shall be provided at the end of every parking aisle.~~
- The canopy of trees shall not obstruct clear views to and from the parking areas and are recommended to be no less than 8 feet in clear height.
- Surface parking lots shall be surrounded by minimum 6 foot fencing and gates which allow clear views to and from public sidewalks and streets from the parking area. Gates shall be closed when the lot is not open.

- Fencing shall be set back a minimum of five feet from public sidewalks. A minimum of 75% of the resulting area shall be planted as a landscaped buffer and a minimum of one 24 inch box tree shall be planted for every ~~30~~<sup>25</sup> linear feet of buffer.
- Minimum 5 foot landscaped buffers shall be provided adjacent to residential land uses and a minimum of one 24 inch box tree shall be planted for every ~~thirty~~<sup>25</sup> linear feet of buffer.
- Mechanical irrigation shall be required for all landscaped areas.
- Night lighting of surface parking areas shall be provided; and shall be sufficient to adequately light the entire parking lot during all non-daylight hours. The sources of lighting shall be screened or shielded from the view of surrounding sidewalks and commercial and residential buildings. Lighting fixtures shall not exceed 20 feet in height.

#### **D. Standards for Service Alleys**

Alleys exist behind some of the District's blocks, but the system is neither complete nor consistent. Alleys offer design opportunities, linkages to parking, or service access to commercial and residential structures and standards are necessary to insure the safety of their users and their positive contribution to the Hollywood Boulevard District environment. Towards this end the Agency should develop the following plan.

- The Agency should develop a plan for landscape, security, lighting, and maintenance for existing service alleys within the district.

### **5.7 IMPLEMENTATION**

Implementation of the open space policies, standards and guidelines of this Chapter is accomplished through the adoption of one or more Design(s) for Development and/or City Ordinance(s). For a more complete discussion of the establishment and funding of open space work objectives is recommended as part of a five-step implementation program discussed in Chapter 9, Implementation see the Hollywood Boulevard District Urban Design Plan Implementation Program.



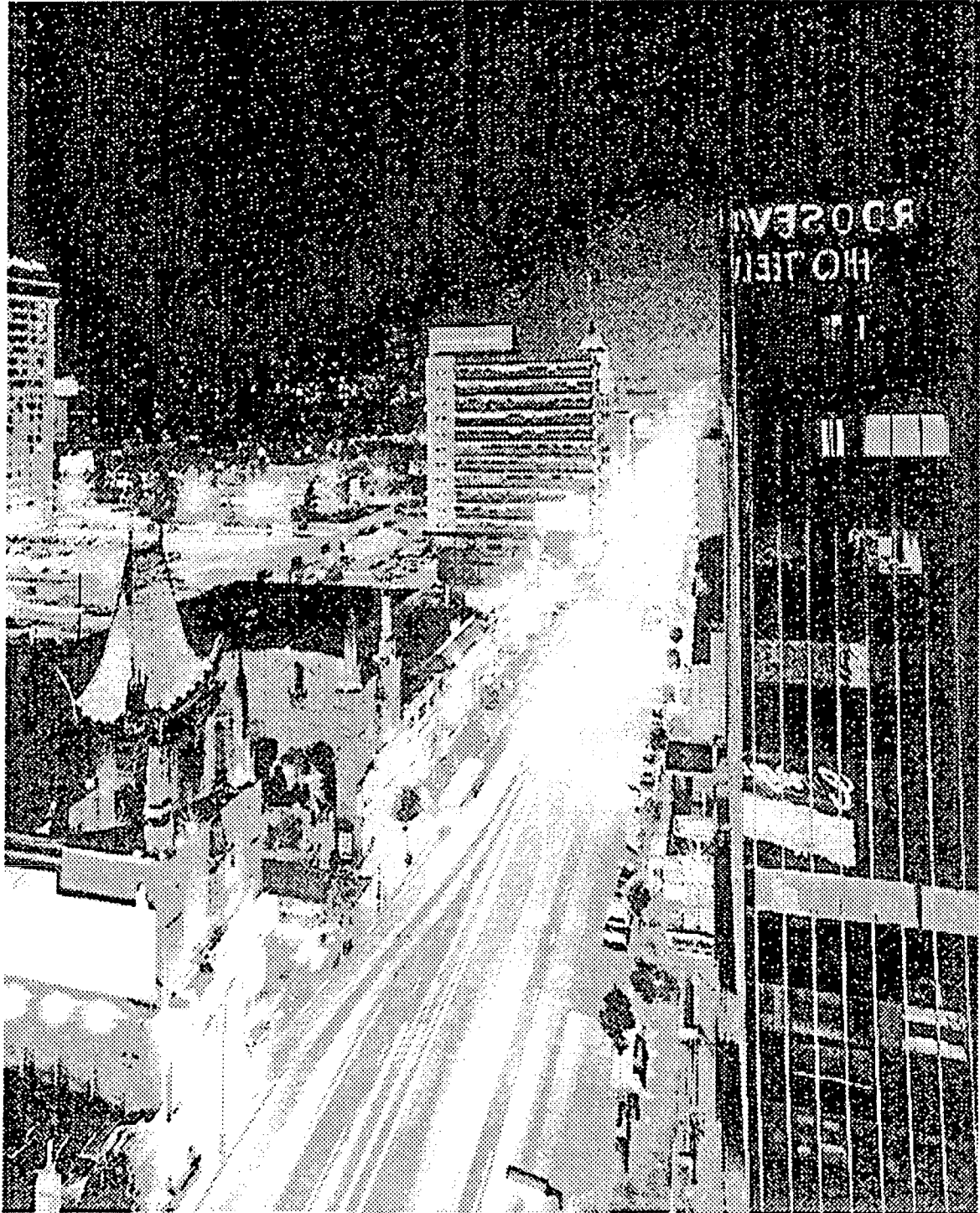
TABLE 5-1

HOLLYWOOD BOULEVARD DISTRICT OPEN SPACE

Existing Public Open Space	
Park Area	0
Sidewalks/Parkways (Sq.Ft.)	648,000±

Street Trees	
Existing	440±
Proposed	1,800±

Streetlights	
Existing to Remain	39
Potential Removal of Cobra Lights	383
Potential Replacement of Streetlamps	600



**Figure 6-1**

A night view down Hollywood Boulevard highlights its prominence as an urban space and a conduit for pedestrians and automobiles alike.

## **6** **TRANSPORTATION AND PARKING**

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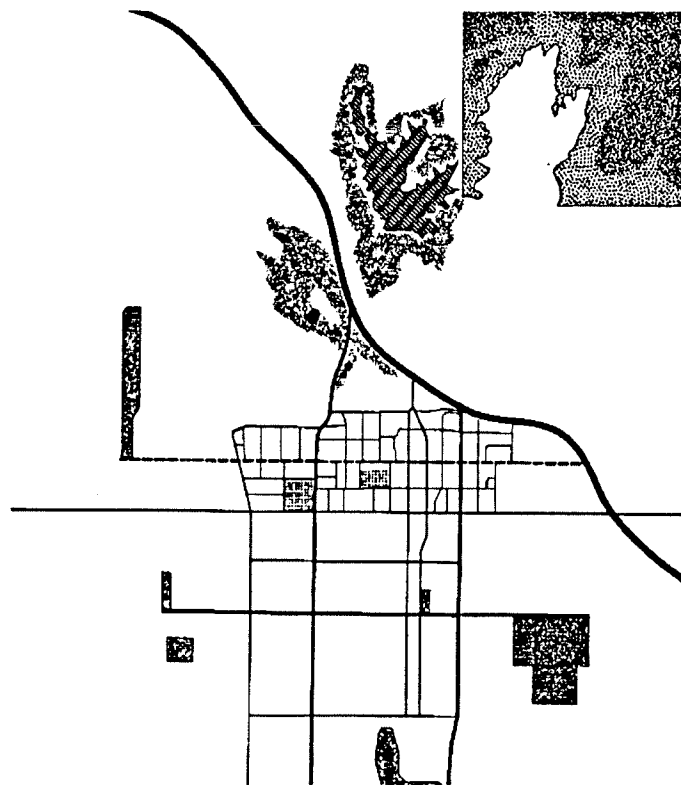
**OBJECTIVE**

*Ensure the integration of the policies and programs of the Hollywood Transportation Plan (Revised) with the urban design objectives of the Hollywood Boulevard District.*

**6.1 OVERVIEW**

This Chapter explains how the draft Hollywood Transportation Plan (HTP) and the urban design policies, standards, and guidelines of the Hollywood Boulevard District Urban Design Plan (HBD) are ~~integrated~~ ~~(see Figure 6-1)~~ coordinated. For a complete discussion of transportation issues within the Redevelopment Plan area, the HTP should be consulted.

The HTP incorporates a program of phased transportation improvements throughout the Redevelopment Project Area to mitigate the increased traffic projected to occur due to both regional and redevelopment growth over the next twenty years. The HBD as a whole presents a vision and standards for the revitalization of the 230 acre Hollywood core, placing particular emphasis on a series of street and sidewalk enhancements which improve the character, scale and use of the District's pedestrian environment (see Figure 6-2). Within the Boulevard District ~~recommended~~ transportation improvements are phased over time and stress improved efficiency of existing roadways and transportation management to reduce travel demand, rather than extensive street widenings. The HTP transportation programs include ~~(see Figure 6-3)~~:



**Figure 6-2**  
Particular emphasis is placed on street and sidewalk enhancements which improve the character, scale, and use of the District's pedestrian environment.

- **Roadway Improvements Component** - to improve the capacity of the existing roadway system;
- **Neighborhood Protection Component** - to protect residential areas from excessive through traffic;
- **Transportation Demand Management Component** - to encourage auto trip reduction and alternative transportation modes;
- **Transit Component** - to strengthen the role of public transit and increase transit ridership;
- **Short and Long Range Parking Component** - to address existing and future parking needs;
- **Pedestrian Environment Component** - to reinforce the quality of the pedestrian experience.

This Chapter also ~~recommends~~establishes additional programs and policies which complement those proposed in the HTP including;

- Review of HBD policies upon reaching 70% of the vehicular trips accommodated by the HTP;
- Reservation of vehicle trips for residential and industrial uses;
- Street closure policies;
- Waivers/Reduced Parking for Historic Structures and Neighborhood Commercial Uses;
- Prohibition of curb cuts on Hollywood Boulevard; and
- Loading and delivery access guidelines.

## 6.2 LINKAGE OF TRANSPORTATION PLAN WITH URBAN DESIGN PLAN

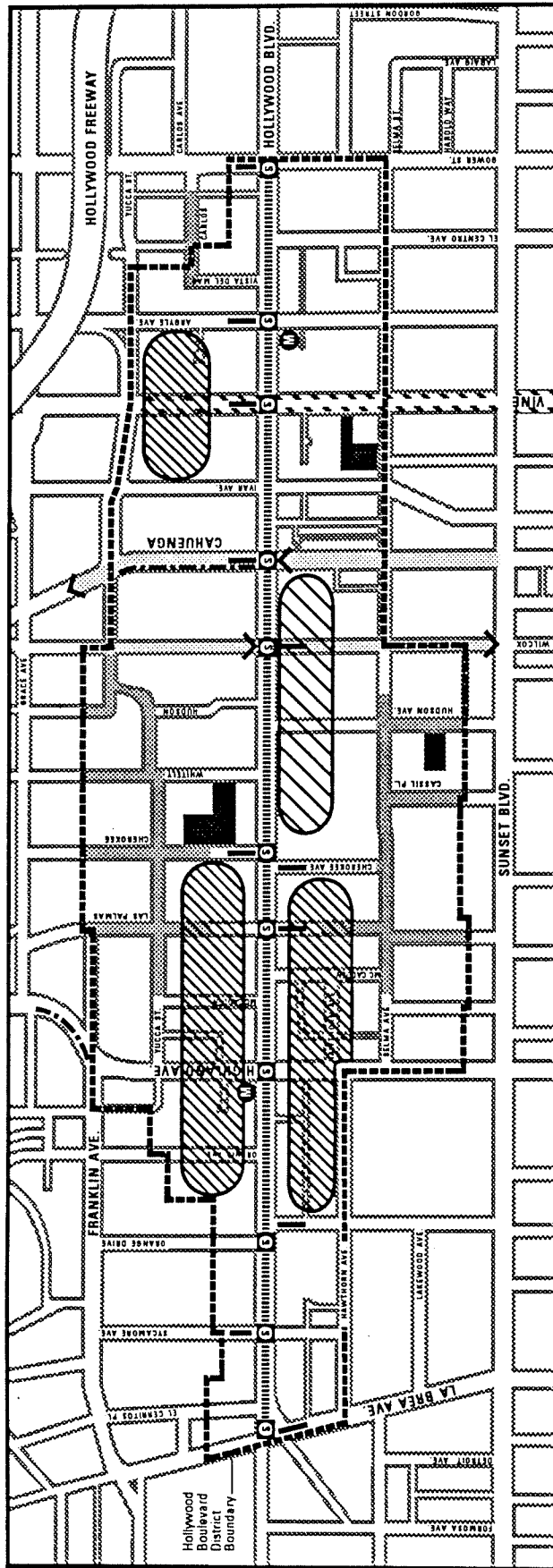
Continuing coordination through time of the transportation and urban design goals, objectives, and programs is an essential part of the successful implementation of both the HBD and the HTP.

While the total amount of building potential ("modified buildout") utilizing the HBD land use and density standards is considerably ~~more restrictive~~less than that allowed by existing zoning or the Community Plan (see Chapter 3, "Land Use and Density," ~~Table~~Appendix 3-GB), the theoretical modified buildout of the district exceeds the twenty year market driven growth projections which guided the formation of the HTP policies. However, the HBD modified buildout is a "worset case" scenario, irrespective of time, and is used to test the relationship of maximum growth capacity to the proper physical form of different land use alternatives.

Given that the transportation modes and travel patterns assumed for the HTP will likely evolve over time, the land use and density recommendations of the HBD were not dictated by a twenty year horizon but by both existing land-use patterns and the intensities of use typical of a vibrant live/work district. However, to balance transportation needs with urban design objectives and to ensure ongoing coordination of the HBD and the HTP through time, the following ~~recommended~~ policies are ~~proposed~~established for both plans.

Figure 6-3

Outline of District Transportation and Parking Plan



Legend

- City Owned Parking Lots
- Approximate Area for Recommended Public Parking Area
- Approximate Area for Public Parking at Community Plaza
- ATSC Computerized Signal
- Candidate Areas for Residential Permit Parking
- Improved Local Bus Service
- Left Turn Lanes
- Proposed One Way Street
- Recommended Street Widening
- Recommended Prohibited Peak Period Parking
- Metro Rail Station



#### A. Development Thresholds

- Upon reaching 70% of the vehicular trips accommodated by the Hollywood Transportation Plan, the land use and density goals, objectives, and standards of the Hollywood Boulevard District Plan shall be reviewed and reconfirmed as appropriate by the community and the Agency.

This review threshold triggers the development of a new Hollywood Transportation Plan even if development occurs at a faster rate than expected. The simultaneous review of urban design goals and objectives allows for the testing, appropriate reaffirmation, and continuing coordination of the HBD vision with transportation policies.

#### B. Reserve Trips

- Reserve 12% of the trips allocated to the "West Zone", as defined by the Hollywood Transportation Plan, for residential and industrial uses.

This mechanism reserves allocated vehicle trips for two specific non-commercial land uses - residential and industrial - regardless of the pace of commercial development. The goal is to reserve the trip-generating capacity of land uses for development which the HBD seeks to foster. The 12% trip reservation provides for approximately 100% of the market projected demand for residential units in this sector of Hollywood over the next 20 years.

### 6.3 PEDESTRIANS, SIDEWALKS, AND STREETS

The HBD ~~calls for~~ establishes a series of improvements throughout ~~this~~ the Plan area which improve the comfort and identity of Hollywood's major open space resource - the sidewalks and streets. The HTP's Neighborhood Protection Program was crafted to further protect the quality and quiet of the street environment of residential communities both within the district and throughout the ~~Redevelopment Plan~~ Project Area.

These policies and programs include;

- HBD Chapter 3, "Land Use and Density" - concentrates pedestrian activity along the Boulevard and along select neighborhood streets which link to Sunset Boulevard by encouraging pedestrian generating retail uses;
- HBD Chapter 5, "Open Space" - ~~proposes~~ describes specific design improvements on a street by street basis. In this chapter, Hollywood Boulevard's role as the main pedestrian link through the area's subdistricts is reinforced by the streetscape enhancements delineated in Section 5-3.a-uniform-sidewalk-widening-and-further. These include the selective widening of sidewalks in the Main Street area where streets dead end or jog at the Boulevard. Highland Avenue and Vine Street are emphasized as pedestrian/vehicular gateways to the District. This chapter also recommends calls for specific tree plantings throughout the District to heighten individual street and sub-district identity and improve the comfort level of the sidewalks.
- HBD Chapter 7, "Built Form" - ~~recommends~~ delineates a series of standards which reduce the visual impact of the automobile on Hollywood's built environment. These include parking structure design guidelines in both commercial and residential areas and limitations on curb cuts at points of vehicular ingress and egress.
- HTP, Chapter 4, "Neighborhood Protection Component" - ~~recommends~~ encourages that the Agency, the Department of Transportation, and individual neighborhoods to work jointly to develop measures that protect residential communities from through traffic and spillover parking. ~~Recommended programs include~~ programs for the establishment of residential permit parking and traffic diversion measures.

## 6.4 ADDITIONAL HTP PROPOSALS

The HTP proposes a series of corridor and operational improvements which are designed to add capacity to the existing transportation system and improve traffic flow within the Redevelopment Project area. Described below are the HTP programs which relate directly to the Boulevard District.

### A. HTP Roadway Improvements

#### ~~1. Hollywood Boulevard Sidewalk Widening~~

~~The HTP proposes widening sidewalks along Hollywood Boulevard in coordination with HBD recommended improvements to this street (see Chapter 5, Open Space, Section 5.3.B and HTP Chapter 3, Roadway Improvement Component, Section 3.4.H). Boulevard sidewalk widenings were analyzed for traffic impact. The Hollywood street system will still have sufficient capacity to accommodate the east-west travel flow shifted to other streets as a result of the Boulevard sidewalk widenings.~~

#### 21. Highland Avenue Improvements

Both the HBD and the HTP propose that the Highland Avenue corridor be redeveloped as a major visual pedestrian/vehicular "gateway" to Hollywood. (see Chapter 5, "Open Space," Section 5.3.C and HTP Chapter 3, "Roadway Improvement Component," Section 3.4.A and 3.4.B). The major components of the Highland Avenue corridor improvement program are stated below.

~~As noted below, two options are presented regarding the configuration of Highland Avenue. Option A proposes the deletion of the existing reversible lane, gateway tree plantings and the planting of a median or widened sidewalk from the Hollywood Bowl to Melrose Avenue. Option B proposes the maintenance of the reversible lane and gateway tree plantings along the same route. The respective Staff Report for each Plan should be consulted for a further discussion and evaluation of alternatives for a Highland Avenue Corridor gateway program.~~

##### ~~Option A~~

- ~~• Delete the existing seven lane (with reversible lane) roadway during peak periods on Highland Avenue and substitute a landscaped median from the Hollywood Bowl south to Melrose Avenue. Develop the landscaped median to high quality design standards and tree plantings so that the Highland Avenue Corridor serves as a major visual and pedestrian gateway to Hollywood.~~

##### Option B

- Maintain the current seven lane roadway operations on Highland Avenue during peak periods and extend the reversible lane operations south to Santa Monica Boulevard. Redevelop the sidewalk/parkway along Highland Avenue with high quality design standards and tree plantings so that the Highland Corridor serves as a major visual and pedestrian gateway to Hollywood.

**32. Highland Avenue: Franklin North to Franklin South**

Access to Hollywood Boulevard will be eased through the proposed widening of Highland Avenue between Franklin Avenue North and Franklin Avenue South to the immediate north of the district. This widening will provide one additional lane in each direction (north-south) between these two sections of Franklin Avenue, thereby relieving a congested roadway segment that serves the Hollywood Boulevard District.

The HTP also proposes the widening of the south side of Franklin Avenue west of Highland in order to provide a right turn lane from Franklin Avenue onto Highland Avenue.

**43. Freeway Access Improvements**

The HTP proposes a new north-bound on-ramp to the Hollywood Freeway at Cahuenga. This improvement, especially if combined with the proposed Wilcox/Cahuenga one-way pair (see Section 6.4.B.1 below), would improve access to and from the Boulevard District and encourages alternative means of moving through the District other than the Highland Corridor.

**B. HTP Operations Improvements**

**1. Wilcox / Cahuenga One-Way Pair**

To improve traffic flow through the District the HTP has proposed the operation of Wilcox Avenue and Cahuenga Boulevard as a one way pair with Wilcox a southbound one-way street and Cahuenga a northbound one-way street. The CRA Board of Commissioners has required a feasibility study and further Board action prior to the implementation of this proposal. The following improvements will/would be necessary to accommodate these improvements, if approved by the Agency Board. (see HTP, Chapter 3, "Roadway Improvement Component," Section 3.5.A).

- Widen Wilcox Avenue from the existing 35 foot roadway to a 44 foot roadway between Franklin Avenue and Hollywood Boulevard.
- Widen Cahuenga Boulevard from 55 feet to 60 feet.

In anticipation of the improvements, the HTP proposes to repair and replace deteriorated sidewalks, curbs, gutters, street trees, street lights, driveways, and roadbed along Wilcox Avenue between Hollywood Boulevard and Franklin Avenue, as necessary.

**2. Computerized Traffic Signal**

Automated Traffic Signal Control (ATSAC) will be installed on all many traffic signals within the HBD Hollywood Boulevard District during Phase 1 (first 5 years) of the HTP. The ATSAC program will coordinate traffic signals to improve access and reduce traffic congestion (see HTP, Chapter 3, Roadway Improvement Component, Section 3.7).

3. Directional Signage

Directional signage will be designed and installed along Hollywood Boulevard to advise motorists regarding the location of public parking, major attractions, and freeway access. The following policy ~~is recommended~~ should guide the Agency.

- Directional signage should be integrated with the Boulevard improvements and public signage program proposed in Chapter 5, Open Space, Section 5.3.B and Chapter 7, Built Form, Section 7.7.G.

4. Intersection Improvements

The HTP proposes prohibiting parking on ~~the north and south approaches of~~ Vine Street between Franklin Avenue and Santa Monica Boulevard, including ~~at its~~ intersection with Hollywood Boulevard, during peak periods of the day ~~(refer to HTP Chapter 3, Roadway Improvement Component, Section 3.7).~~

~~5. Corridor and Local Parking~~

These ~~peak~~ hour parking restrictions will be implemented ~~along Vine Street~~ as part of Phase 2 (5-10 years) of the HTP implementation (refer to HTP, Chapter 3, Roadway Improvement Component, Section 3.7).

C. **HTP Transportation Demand Management Component**

The HTP proposes a joint public-private Transportation Management Organization (TMO) in Hollywood that would implement a set of programs and strategies aimed at reducing vehicle trips and increasing the use of alternative transportation modes. The Transportation Demand Management Component would include requiring encouraging all new development to help fund the TMO as well as require new development over 50,000 square feet to develop a trip reduction plan. The requirements would apply to all new development within the Boulevard District (see HTP, Chapter 5, "Transportation Demand Management Component").

D. **HTP Transit Component**

Hollywood's convenience to downtown and other urban centers will be improved by the introduction of Metro Rail, expected to begin construction in 1992<sup>3</sup> with operations to begin in ~~the late 1990's~~ 1998. Local access within Hollywood will also benefit from the integration of Metro Rail into the community. The following guidelines discuss the urban design criteria for the development of facilities related to Metro Rail and suggest options to be considered in the development of local shuttles within the District and guidelines for the development of future bus routes traversing the District. These guidelines complement those proposed in HTP, Chapter 6, "Transit Component."

1. Metro Rail

Metro Rail will ease access to and within Hollywood, link Hollywood to the region, and provide an efficient and exciting means of connecting Boulevard East to Boulevard West.

- Relationship of Metro Rail to the Boulevard District

Metro Rail stations ~~are proposed~~ will be constructed on Hollywood Boulevard at its intersections with Vine Street/Argyle Avenue in Boulevard

East, and Highland Avenue in Boulevard West (see Figure 6-3). These station locations are ideal as they are coordinated with those areas with the highest recommended intensities and densities within the district. Location of Metro Rail stations in these locations will allow easy access for workers, visitors and residents, between the two ends of the Boulevard and the region as a whole.

- **Metro Rail Station Urban Design Guidelines**

Consistent with the contextual issues addressed throughout this Plan, the following guidelines ~~envisio~~encourage Metro Rail facilities ~~fitting into to be responsive to~~ the context of their locations. The following Metro rail portal/station design standards and guidelines are recommended shall be observed by the Agency.

- Metro Rail portals/stations integrated into significant buildings as defined by the Hollywood Redevelopment Plan shall be designed in conformance with The Secretary of the Interior's Standards to the maximum extent feasible.
- When a station entrance is proposed to be integrated with the design of an existing building and/or proposed development, design of the portal should be coordinated at the earliest possible stage of the planning and design process.
- Any "kiss 'n' ride" areas, transfer areas, or parking areas shall be in conformance with the surface parking lot standards outlined in Chapter 5, Open Space, Section 5.6.C to the maximum extent feasible.
- Station entrances should be located as close as possible to street corners to increase convenience to commercial areas and to increase visual exposure to Metro Rail portals without interrupting sidewalks.
- Consideration should be given to widening sidewalks adjacent to Metro Rail portals/stations and transfer areas to accommodate increased pedestrian volumes and peak hour portal surges.
- To the extent feasible all exhaust vents and blast relief shafts should be located away from the Walk of Fame.

2. Metro Rail Construction Mitigation

The arrival of Metro Rail to Hollywood will be preceded by a construction period involving unavoidable inconvenience to Boulevard users and retailers. While the presence of construction equipment, dust and noise cannot be completely hidden, advance planning/coordination and the development of mitigation measures can minimize the disruptions. Enhanced cut-and-cover techniques with off-street access, ~~P~~proper signage, minimizing on-street equipment storage, just in time arrival of construction materials, good fencing, continuous street and sidewalk cleanup, a project engineering liaison to the community to address construction issues, and concurrent retail promotional efforts ~~have been~~will be used in other cities to ease the impacts of mass transit construction.

To minimize to the maximum extent feasible adverse impacts associated with the construction of rail transit within the Hollywood Boulevard District, the following policy shall be observed by the Agency;

- ~~The Agency shall work with the Los Angeles County Metropolitan Transportation Authority--To lessen the adverse impacts of Metro Rail construction, the Rail Construction Corporation, the Agency, and the LADOT and other appropriate agencies and departments will work with the community to develop~~implement and monitor a detailed traffic and pedestrian mitigation plan to minimize traffic and business disruption ~~on~~within the Hollywood Boulevard District due to Metro Rail construction (see also HTP, Chapter 6, "Transit Component").

3. Local Bus and Shuttle Service

The HTP ~~proposes~~recommends the continued development of a local shuttle to serve residents of the District (see Figure 6-4 and HTP, Chapter 6, "Transit Component," Section 6.3). At the same time, use of existing Boulevard buses by residents and visitors alike could be enhanced if the routes were more clearly understood and better identified. The following policy ~~is recommended~~shall be observed by the Agency(see Chapter 5, "Open Space," Section 5.3.B and Chapter 7, "Built Form," Section 7.7.G).

- As part of the Hollywood Boulevard improvements and public signage improvements called for by the Hollywood Boulevard District Urban Design Plan, consideration ~~should~~shall be given to improving use of local shuttle and bus routes through improved transit signage and graphics, the distribution of transit maps, and other means.

4. Regional Bus Service

Hollywood Boulevard is a major regional bus corridor. Thousands of people a day ride buses through Hollywood, many coming or going to work or taking advantage of the retail and service uses found along the Boulevard. With the ~~introduction of Metro Rail~~expansion of the rail transit network, the high volume of regional bus traffic required along the Boulevard is expected to decrease as people traveling long distances by bus transfer to the rail system. At the same time, opportunities exist to explore the feasibility of making greater use of alternative routes which cross the Boulevard ~~versus~~instead of traveling its length. The goal should be to maintain the intensity of Boulevard activity and support Boulevard retail while enhancing the quality of the pedestrian environment by reducing bus traffic. To realize this goal the following policy is ~~recommended~~should be observed by the Agency.

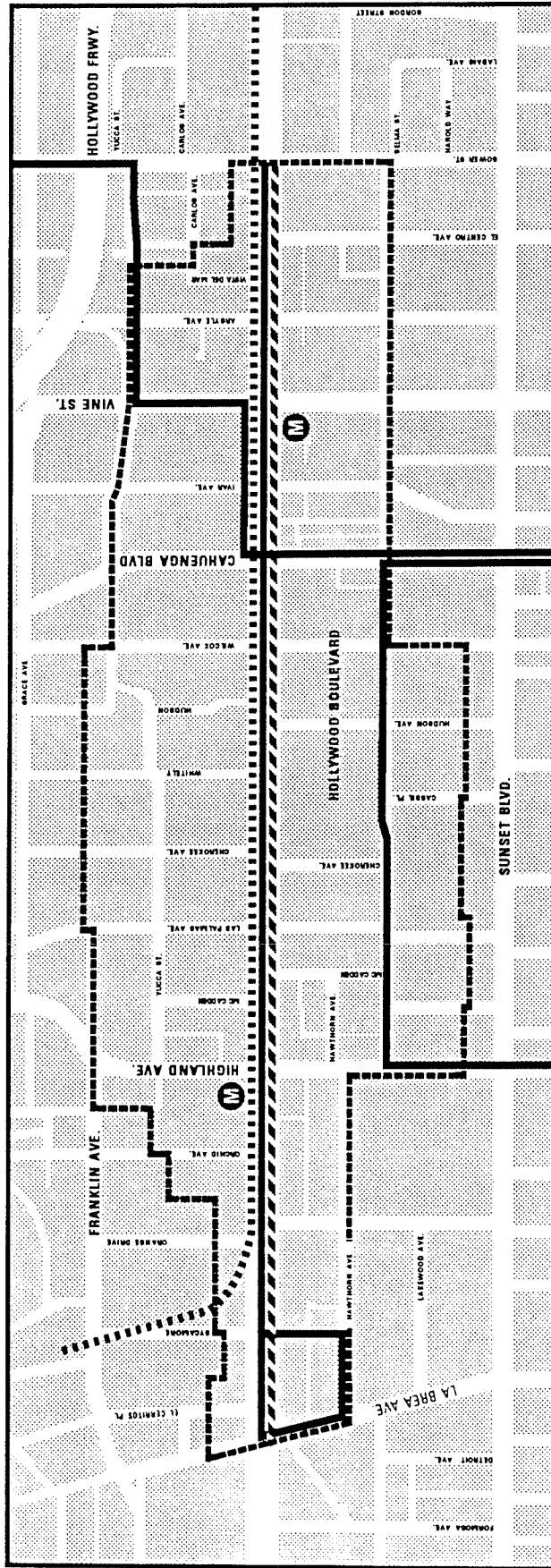
- The Agency should work with transportation authorities to explore the feasibility of adjusting the routes of regional buses in order to maintain Boulevard accessibility~~such that Boulevard use by bus patrons is maintained while~~ strengthening the quality of the pedestrian environment ~~is strengthened~~.

E. **HTP Short And Long Range Parking Component**





Economic revitalization of the Boulevard District depends on providing adequate and clearly accessible parking throughout the area. Additional public parking will facilitate the reuse of historic buildings which were built without ~~adequate~~the parking necessary by today's standards, as well as create ~~ease of use of the~~ easier access to the Boulevard's ~~services by its patrons~~.

Figure 6-4

Metro Rail Station Locations and Proposed Local Shuttle and Bus Service



Legend

-  Metro Rail Station
-  Metro Rail Alignment
-  Local Bus Service
-  Proposed Shuttle - HTP



1. Off-street Parking

The vast majority of the District's parking spaces are provided off-street in surface parking lots. Increases in the number of parking spaces to alleviate current shortfalls as well as accommodate anticipated uses are provided by the parking component of the HTP.

- Location and Supply of Public Parking

The HTP has identified within the District a current deficit of approximately 100 parking spaces, with a projected shortfall of about 2,000 parking spaces within twenty years. The HTP ~~provides~~establishes a phased program of parking improvements ~~to which funds are~~ to reduce the long range shortfall through the development of additional parking structures dispersed throughout the Boulevard District. The priority areas for the location of public parking in the District are shown in Figure 6-3 and further identified and defined in HTP Chapter 7, "Short- and Long-Range Parking Component."

The following guidelines ~~are recommended~~shall be used by the Agency as criteria for the selection of public parking sites servicing the Boulevard District.

- Ability to maximize access to the Boulevard District.
- Adjacency to the Boulevard Mixed Use and Residential Mixed Use areas to serve pedestrian generating retail uses (see Chapter 3, "Land Use and Density," Figure 3-34).
- Ease of access from north-south as well as east-west streets.
- Mid-block locations, to minimize impact on surrounding neighborhoods.

2. Parking Reductions/Waivers for Significant Structures

~~The~~ Conservation of historic buildings and sites is one of the primary goals of this Plan. An incentive for the conservation and adaptive reuse of older buildings is a complete or partial waiver of parking requirements in conjunction with the simultaneous securing of parking off-site. The following policies ~~are recommended~~ shall be pursued by the Agency.

- A complete or partial waiver of code parking requirements should be allowed for rehabilitated significant structures. Buildings receiving such a waiver should be required to submit a parking management plan showing how the building's parking demands can be met.

For further discussion of this recommended policy see Chapter 4, "Urban Conservation," Section 4.3.J.4 and HTP, Chapter 7, "Short- and Long Range Parking Component," Section 7.4.C, "Waive Historic Building Requirements".

The following ~~HBD~~ policy ~~is also recommended~~shall also be observed by the Agency.

- Public parking structures and new or rebuilt surface parking lots ~~should~~shall provide spaces for bicycle parking at the rate of one bicycle space per each twenty car spaces.

**F. HTP Financing and Implementation Plan**

The financing and implementation plan for the HTP establishes the cost of this Plan over 20 years, and identifies potential funding sources ~~and allocates "fair share" proportions of the implementation costs between Hollywood development and regional development including development generated, redevelopment, and regional funds.~~ Some of the funding for this Plan ~~is~~may be realized through the establishment of a development impact fee charged to all new projects in the Hollywood Redevelopment Project Area. In order to encourage the creation of low and moderate income housing units, the Agency will pay the development impact fee, if any, for these units, ~~which generate more than 40 PM peak hour trips. This threshold will create an indirect incentive for reuse and rehabilitation projects which do not trigger the levying of impact fees and thereby further foster the conservation goals of the HBD.~~

**6.5 ADDITIONAL HBD TRANSPORTATION AND PARKING POLICIES, STANDARDS, AND GUIDELINES**

**A. Street Closures**

Hollywood's street grid is as much a part of its historic fabric as the District's significant structures. Access for pedestrians to the residential neighborhoods is enhanced by the typically short Boulevard block length of approximately 350 feet. A clear rhythm of sidewalks thenand street crossings is established by this length. There is also a clear relationship between the intensity and number of uses on typical Hollywood blocks and the overall scale of development. To help maintain the relationship between the size of the blocks, the patterns of use, and the intensities of use, the following policy ~~is recommended~~shall be observed by the Agency.

*~~As noted below, two options are presented regarding the street closures. Option A prohibits all street closures. Option B permits closures and vacations but requires that right of public passage be retained.~~*

**OPTION A**

- ~~• To maintain the traditional gridiron street pattern all street vacations are prohibited.~~

**OPTION B**

- To maintain the traditional gridiron street pattern, pedestrian and vehicular easements shall be maintained when street closures or street vacations are permitted.

**B. Hollywood Boulevard Curbcuts**

Hollywood Boulevard is one of Los Angeles' best pedestrian streets. The long term success of retail on the Boulevard ~~will directly relate to~~ depends upon the quality of the walking environment. ~~Curbcuts in the middle of blocks will~~ Mid-block curbcuts not only interrupt the flow of an ~~already~~ heavily used sidewalks, but also lessen the integrity of Hollywood's historic retail streetscape by encouraging the proliferation of garage doors,

loading docks and vehicular access points. To maintain the integrity of the Hollywood Boulevard sidewalk experience, the following policy ~~is recommended~~ shall be observed by the Agency.

- Within the Hollywood Boulevard District, ~~N~~ new curbcuts shall be prohibited along the length of Hollywood Boulevard.

### C. HBD Parking Policies/Requirements/Incentives

The basic number of parking spaces required will continue to be determined by the City of Los Angeles Zoning Code. The purpose of the following ~~recommendations~~ guidelines is to encourage the rehabilitation of significant structures and development of neighborhood serving retail.

#### 1. Parking Reductions/Waivers for Significant Structures

For further discussion of this ~~recommended~~ policy see Section 6.4.E.2 of this chapter, Chapter 4, "Urban Conservation," Section 4.3.J.4, and HTP, Chapter 7, "Short- and Long Range Parking Component," Section 7.4.C, "Waive Historic Building Requirements."

#### 2. Parking Reductions/Waivers Within the Residential Mixed Use Areas

Another goal of this Plan is to encourage pedestrian serving and pedestrian generating businesses which primarily serve the local residential and working community. For these types of uses, provision of parking spaces to meet the requirements of the Los Angeles Zoning Code may not be necessary when these businesses do not generate the volume of vehicular customer traffic envisioned by the Code. In many cases, the provision of retail parking could be either physically and/or financially infeasible and thus discourage this type of development in the Residential Mixed Use areas recommended by this Plan. The following policy ~~is recommended~~ shall be pursued by the Agency.

- To the extent that it can be shown that the provision of a pedestrian-serving and pedestrian-generating business within the Residential Mixed Use area is discouraged by City of Los Angeles parking requirements and that the nature of the business is unlikely to generate enough vehicular volume to justifying full Code requirements compliance, parking requirements ~~should~~ shall be reduced.

#### 3. Off-site Parking - Shared and Remote

Shared parking is an established concept which works well with uses which have different or overlapping operating hours, such as banks and theaters. This overlap allows the same parking spaces to be allocated for both uses. Remote parking is another time-honored means of providing flexibility in intensely developed urban areas, and is acknowledged in HTP Chapter 7, "Short- and Long-Range Parking Component," Section 7.4.B. The following policies ~~are recommended~~ should be observed by the Agency.

- Required parking for complementary uses should be allowed to be provided at a remote or shared parking facility.
- With shared or remote parking, a covenant between the tenant or owner of the use and the lessee or owner of the parking spaces may be required and should remain in effect as long as those spaces are required for the operation of the use.

- Shared parking should be located within 500 feet of the proposed use.
- Remote parking should be located within one mile of the proposed use, and with shuttle service should be provided, or it should be located at a rail transit station providing direct service to the proposed use.

**D. Parking Overlay Zone**

To encourage the development of public parking structures adjacent to the Boulevard, a Parking Overlay Zone is recommended in Chapter 3, "Land Use and Density," Section 3.2.F (also see Figure 3-10). Within the parking overlay zone, freestanding mixed-use parking structures are encouraged regardless of the underlying land use designation.

**E. Parking Structure Design Standards**

Parking structures shall conform to the recommended standards of Chapter 7, "Built Form," particularly Sections 7.4.A.4210 and 7.4.B.11 (see Figures 7-27 and 7-28). ~~The primary concern is that~~ These structures shall be compatible with the uses and context of the District, be easily accessible, maintain the integrity of the streetwalls and street uses, and be safe and accessible for pedestrians.

**F. Surface Parking Lot Standards**

The recommended surface parking lot standards and guidelines discussed in Chapter 5, "Open Space," Section 5.6.C (see Figure 5-15) shall apply.

~~G. Curbside Parking~~

~~In formulating the strategy for enhancing Hollywood Boulevard's sidewalks, retention of curbside parking space was an important objective. Chapter 5, Open Space, Section 5.3.B.3, recommends that replacement of the approximately 50 curbside parking spaces removed for proposed sidewalk widening be replaced prior to such removal at the rate of 2 new spaces per each space removed.~~

**HG. Loading And Delivery Access**

In the past, loading was difficult in many locations within the District due to the lack of consistent alleys. The frequent interference of vehicular and pedestrian movement by trucks accessing businesses and residences from curbside could be alleviated by application of the following recommended standards and guidelines.

~~1. On-street Loading/Hollywood Boulevard~~

~~Widening the Boulevard's sidewalks by 4 feet, as described in Chapter 5, Open Space, Section 5.3.B.C will necessitate the removal of approximately eight out of forty Boulevard curb loading zones. The loss of these loading spaces from the Boulevard is recommended to be replaced by the provision of alternative loading locations prior to their removal from the Boulevard.~~

~~2. Off-street Loading~~

~~Additional standards and guidelines with regard to maintaining and increasing off-street loading within the District are recommended as follows:~~

- ~~Off-street loading shall be screened from the view of adjacent public sidewalks and streets.~~

- Reciprocal access to any off-street parcel to accommodate loading may be required where such access is essential for the affected parcel.
- Residential uses with fewer than 35 units should be exempt from loading requirements.
- Where no alleys exist, loading issues should be reviewed in any project for which an Environmental Impact Report is required.

## 6.6 IMPLEMENTATION

The transportation and parking policies, standards and guidelines of this chapter shall be implemented through the adoption of a transportation ordinance based upon the recommendations of the Hollywood Transportation Plan-(Revised) as well as the adoption of the Hollywood Boulevard District Urban Design Plan. For a more complete discussion of implementation see the Hollywood Boulevard District Urban Design Plan Implementation Program.

~~Further discussion of implementation is included in Chapter 9, Implementation.~~

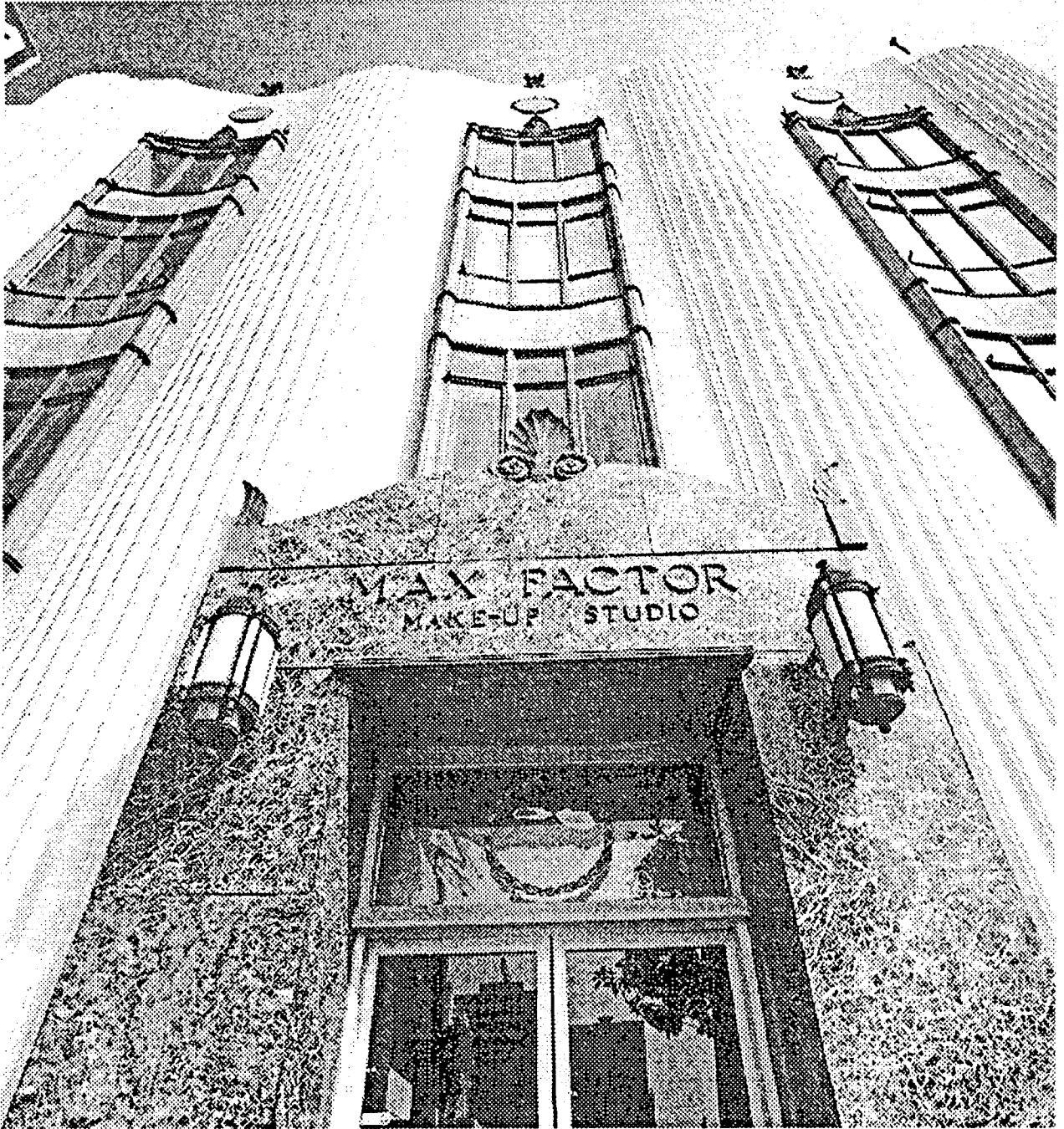


Figure 7-1

An understanding of Hollywood's traditional forms and pattern making, as exemplified by the Max Factor Salon at 1666 North Highland Avenue, should guide the architect when designing buildings within the Boulevard District.

## 7 BUILT FORM

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## 7.0 BUILT FORM

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### OBJECTIVE

*Ensure that all new and infill development is compatible and in harmony with the character, scale, height, massing, siting, and architectural articulation of Hollywood's historic districts and buildings.*

### 7.1 OVERVIEW

Hollywood's history and sense of place is strongly defined by buildings which are individual yet frame a common public realm - the streets and sidewalks (~~see Figure 7-1 and Figure 7-2~~). Observation and an appreciation of Hollywood's recurring architectural themes and existing built form patterns inform the standards and guidelines of this Plan (see Figure 7-1 and Figure 7-2).

This chapter includes recommended policies, standards and guidelines which;

- Relate height standards to the traditional skyline,
- Provide built form standards and guidelines based upon observation of the architecture of existing residential and commercial structures,
- Maintain the integrity of the existing streetwalls and setbacks,
- Encourage the design of interesting and well detailed storefronts which invite window shopping,
- Ensure that parking garages are designed as infill buildings which relate to the architecture of existing buildings, and
- Provide ~~guidelines and standards~~ standards and guidelines for the use of materials, colors, and creative signage.

An understanding of Hollywood's traditional forms of pattern making should guide the architect when designing buildings within the Boulevard District. The standards and guidelines of this Plan strongly encourage design creativity within a framework which ensures the acknowledgement of Hollywood's character and style.

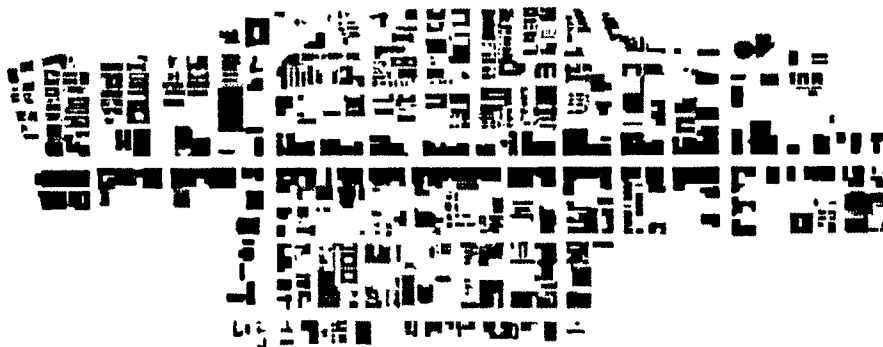


Figure 7-2

Hollywood's sense of place is defined by individual buildings which collectively frame the streets and sidewalks as demonstrated in this "figure-ground" study of the existing built form.

## 7.2 HOLLYWOOD'S ARCHITECTURAL CHARACTER

Hollywood's character is formatively shaped by the architecture of the 1920's and 1930's. Along the length of the Boulevard three styles, Spanish Revival, Renaissance Revival, and Art Deco, eclectically mix amongst a variety of commercial vernaculars. Adjacent to the Boulevard smaller commercial and residential structures in a wide variety of styles including shingle style houses, French Chateau apartment buildings, and brick garage sheds are oriented to the streets and sidewalks. Lending spirit to this scene are exotic and fanciful structures, spaces, and signs that announce Hollywood's place as the dream factory of the world.

The built form legacy from this era is at once a sober Boulevard of finance exemplified by traditional towers with an architectural vocabulary of columnar bases, shafts, and capitols, a bustling 1920's California Main Street marked by light colored stucco walls, tile, and ornament, and a sophisticated and chic movie capitol where stars are thought to live and shop in streamline comfort. Most fundamentally, Hollywood is a fantasy stage set where the styles of the world, accentuated by neon lit electric towers and pylons of every shape and size, create an entertaining backdrop for the imagination. While the combinations of forms, styles, and fantasies are sometimes odd, Hollywood's buildings of the 1920's and 1930's always functionally and aesthetically support the activities of a pedestrian oriented urban district.

Collectively, ~~Hollywood's Boulevard~~ the District's buildings typically have several dominant characteristics including;

- Solid masonry or masonry-like walls with individual windows set into the walls,
- Major and minor vertical bays articulated by horizontal divisions,
- Strongly-expressed-bases Buildings with one, two, and three story, architecturally detailed lower floors which relate the overall scale of the building and its elements to the pedestrian at the sidewalk (see Figure 7-3),
- Entries and storefronts which are directly oriented to the sidewalk,
- Light and earth tone colored walls which brilliantly reflect the California sunlight and stand out against the darker hued hills, and
- Numerous and sometimes fanciful roof shapes, pylons, towers, and skyline signs marking the building tops (see Figure 7-4).



Figure 7-3

Existing buildings such as the Pantages at 6233 Hollywood Boulevard have strongly detailed lower floors, or bases, which relate the scale of the building to the pedestrian.

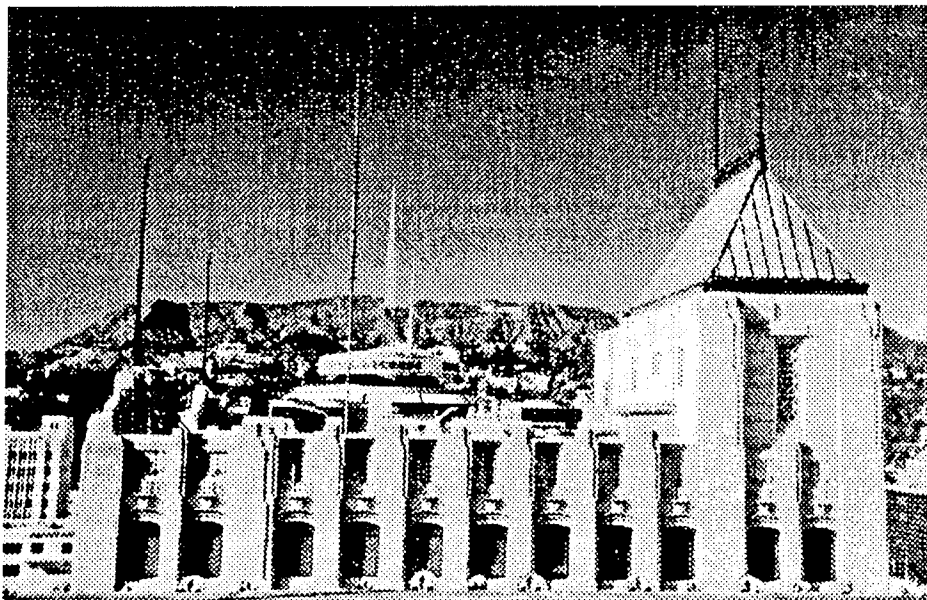


Figure 7-4  
Existing buildings often incorporate fanciful roof shapes, pylons, towers, and skyline signs as in this example at 6253-63 Hollywood Boulevard.



Figure 7-5  
Existing buildings often incorporate a myriad of small gestures which catch and delight the eye. The El Capitan Theater at 6834 Hollywood Boulevard possesses decorative metal mullions which delineate projecting window bays, as well as ornamental metal and cast concrete elements.

Harder to define are the myriad small gestures seen throughout the District which catch the eye and relate to an individual's sense of personal scale. The second level window bays of the El Capitan Theater slightly project and are delineated by slender metal-work mullions (see Figure 7-5). Ornamental grill work lends increased visual interest to the transom windows of the Pacific Theater/Hollywood Center building (see Figure 7-6). Fluted Corinthian columns proudly demarcate the entry to the Guaranty Building (see Figure 7-7). Colorful marquees, night lighting, large shop windows, and the eclectic typefaces, symbols, and shapes of historic signage (see Figure 7-3) further define a precinct meant to be visually enjoyed and explored on foot.

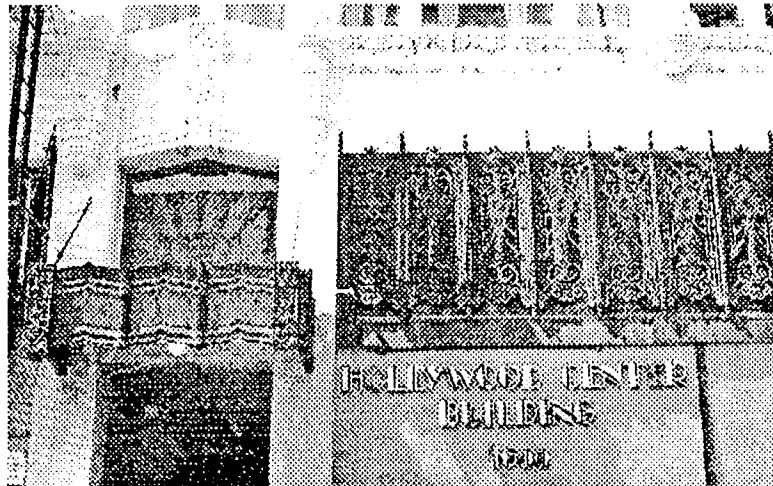


Figure 7-6

Details such as this ornamental grill work at 1655 Cherokee Avenue enhance the visual interest of existing buildings.



Figure 7-7

The use of architectural ornament such as the fluted Corinthian columns of the Guaranty Building at 6331 Hollywood Boulevard can define building entries.

The diversity of housing types found in Hollywood also plays a significant role in defining the Boulevard District's unique sense of place. Hollywood was one of the first locales in Los Angeles where apartment living, in the shadow of a busy urban street, was popular, and many of the older prototypes of multi-family housing can serve today as models for successful urban living. Particularly noteworthy for its mix of indoor and outdoor spaces which engender a sense of collective responsibility and security, as well as privacy, is the courtyard housing type (see Figure 7-8). From small bungalow courts to high rise apartments organized about a sun filled court, the courtyard housing type was, and remains today, especially suited to Los Angeles' benign climate. This Chapter's residential policies, standards, and guidelines strongly support the further evolution of this housing type in the Boulevard District.



Figure 7-8  
A West Hollywood example of courtyard housing, where units organized around a sun filled open space engender a sense of collective responsibility as well as privacy.

The policies of this plan, based upon observation of the character of Hollywood's built environment, create a framework for architects, designers, and builders to continue this type of careful craft into the future. To assist in the interpretation of these policies, standards, and guidelines, a glossary of terms has been provided in Table 7-A.

### 7.3 HEIGHT STANDARDS AND GUIDELINES

Set against the steeply rising Hollywood Hills, the District's skyline remains virtually unchanged since the 1930's and forms one of Los Angeles' most enduring vistas (see Figure 7-89). The existing skyline is twin peaked; and the zeniths mark the points of maximum Boulevard density, intensity and activity. At Hollywood and Vine, existing 150-foot height limit buildings such as the Taft building establish a powerful urban streetwall. At Hollywood and Highland, the 150-foot Security Pacific Tower's 195-foot high cupola pinpoints this busy intersection for miles in every direction ~~this busy intersection~~. Imaginative structures such as the open-web radio towers of the Pacific Theater building (see Figure 7-910) and the dramatically lit needle of the Capitol Records Building (see Figure 7-1011) further signal Hollywood's role as America's entertainment capitol. The complex texture of high buildings versus low buildings is further defined by occasional residential towers, such as the Fontenoy, which sprouts from the surrounding carpet of more modestly scaled residential structures (see Figure 7-112).

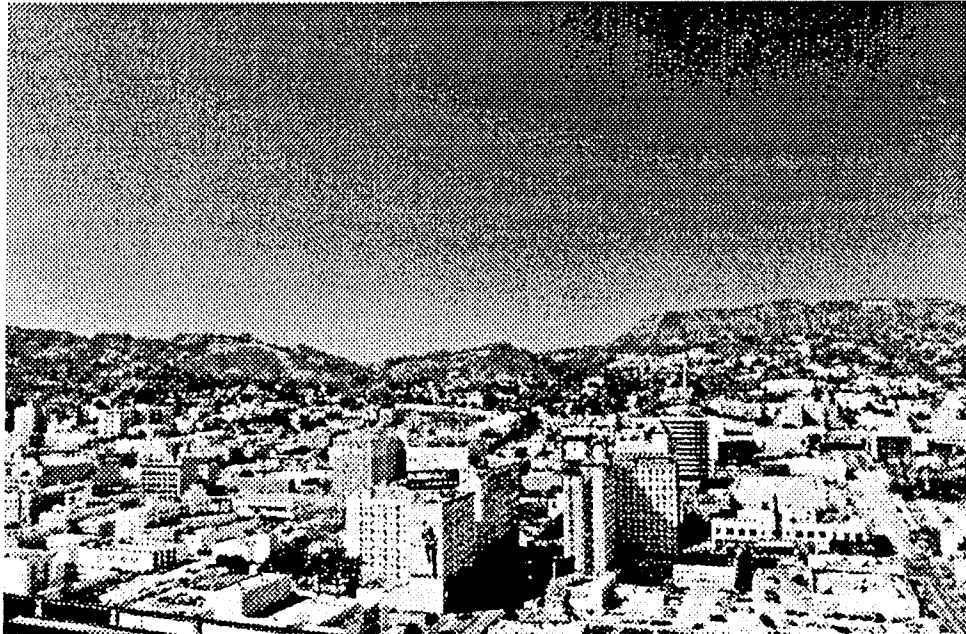
The goals of the following ~~recommended~~ height standards are to maintain the integrity of this historic skyline, preserve views to and from the hills, and encourage the development further evolution of an imaginative and fanciful skyline which ~~once again~~ proclaims the spirit and work of Hollywood.

#### 7.3.A. Height Standards

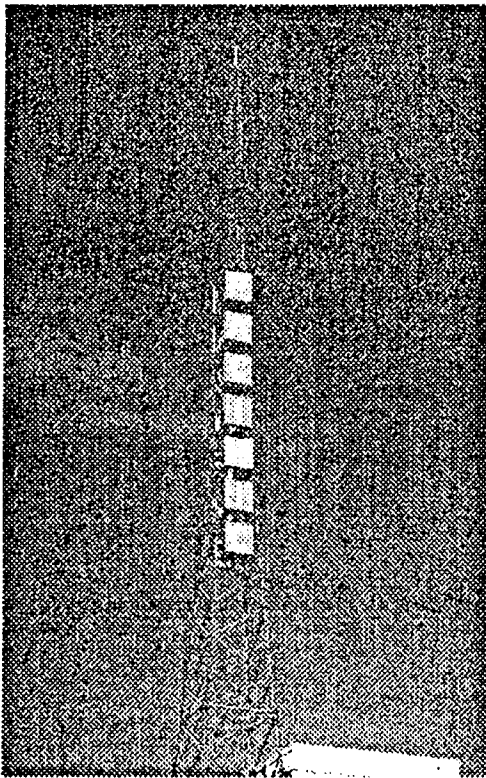
Figures 7-12A and 7-12B <sup>13</sup> outlines ~~recommended~~ required height standards for all new construction. The ~~proposed~~ height standards include;

##### 1. 45-Foot Height Standard

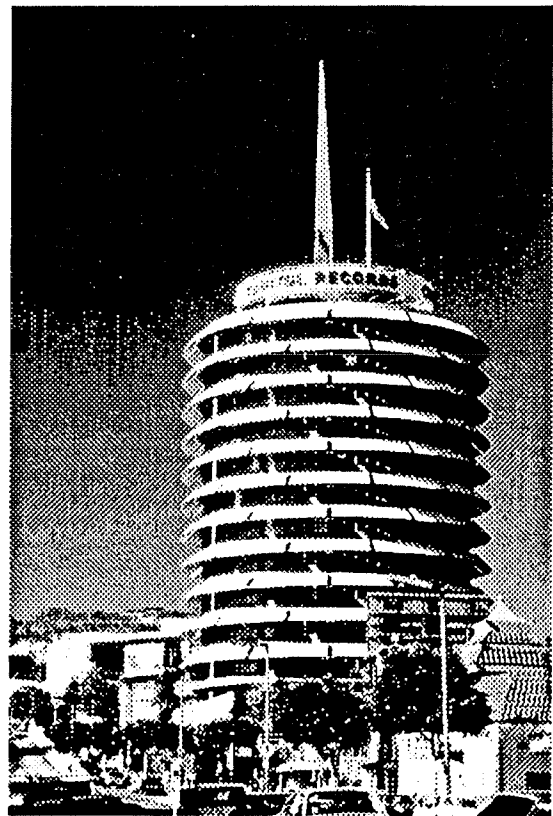
In the Main St. District along Hollywood Boulevard, a 45-foot height limit relates to the existing height and scale of Boulevard structures. A 45-foot height limit is also established within the Boulevard District east of Vista Del Mar Avenue and north of Hollywood Boulevard.



**Figure 7-9**  
 The Hollywood skyline forms one of Los Angeles' most enduring vistas. Recommended height standards maintain the integrity of the historic skyline, preserve views to and from the hills, and encourage imaginative and fanciful additions.



**Figure 7-10**  
 Roof top structures such as the radio towers of the Pacific Theater Building at 6423-6445 Hollywood Boulevard signal Hollywood's role as America's entertainment capitol



**Figure 7-11**  
 Enhanced by dramatic lighting at night, the needle of the Capitol Records Building at 1750 Vine Street is another imaginative roof top structure contributing to the definition of Hollywood.



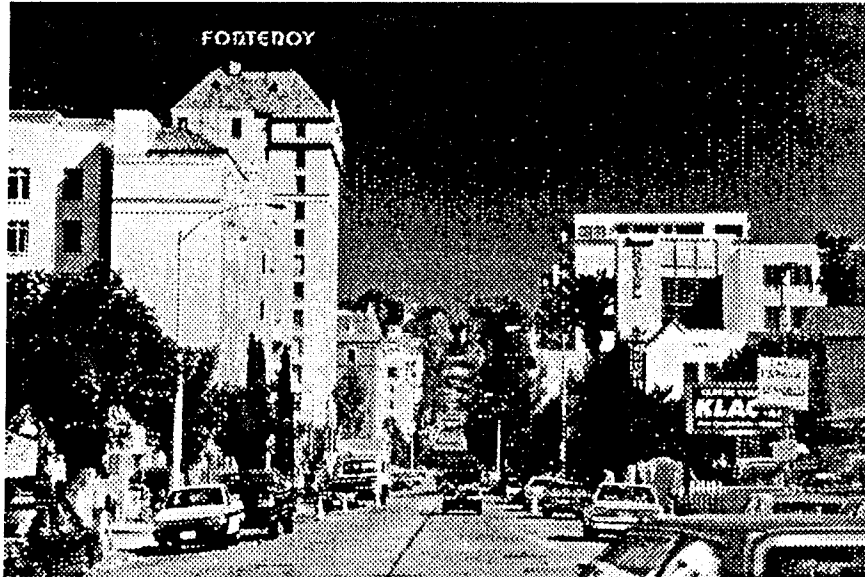


Figure 7-12  
Occasional residential towers such as the Fontenoy at 1811 Whitley Avenue contribute to the complex high versus low texture of Hollywood's skyline and streetscape.

## 2. 45-Foot Height Standard Plus 30-Foot Addition

In Boulevard North and South, and adjacent to areas of high density in Boulevard East and West, a 45-foot height limit relates to the existing low scale residential and commercial structures. An additional height of up to 30 feet over the 45-foot height limit ~~standard is recommended~~ may be approved by the Agency in these areas if the following performance standards are met (see Figure 7-314).

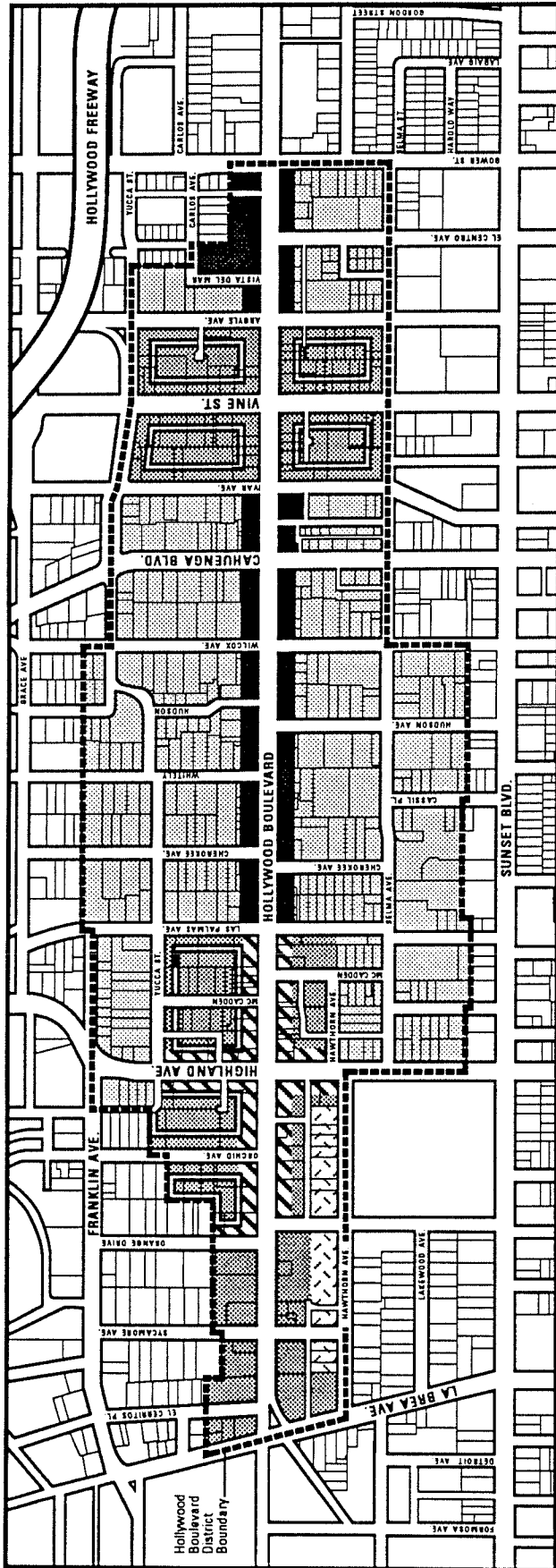
- No portion of the proposed structure in excess of 45 feet in height shall be closer than 100 feet to the property line adjacent and parallel to Hollywood Boulevard.
- Side yard and rear yard requirements shall be increased 1 foot for every 10 feet of height above 45 feet.
- The maximum plan diagonal of any building portion in excess of 45 feet in height shall be a maximum of 155 feet measured to the outside of the building face.
- A minimum separation of 30 feet shall be maintained between those portions of structures which exceed 45 feet with the exception of uninhabited architectural extensions as explained in Section 7.3.B below.
- Any addition to the 45-foot height standard shall require Agency approval after public review and recommendation by the community. Any addition in excess of 45 feet shall also meet applicable City of Los Angeles restrictions. If a conflict exists between the height guidelines of this Plan and any other applicable height limits, the more restrictive shall apply unless a variance is approved by the City. The Agency shall support applications for height variances that meet the performance standards described above.

## 3. 75-Foot Height Standard

A 75-foot height limit along Hawthorn Avenue west of Highland Avenue provides a stepped transition between the 150-foot height limit of buildings along the Boulevard and Hollywood High School.

Figure 7-13

Height Standards



Legend







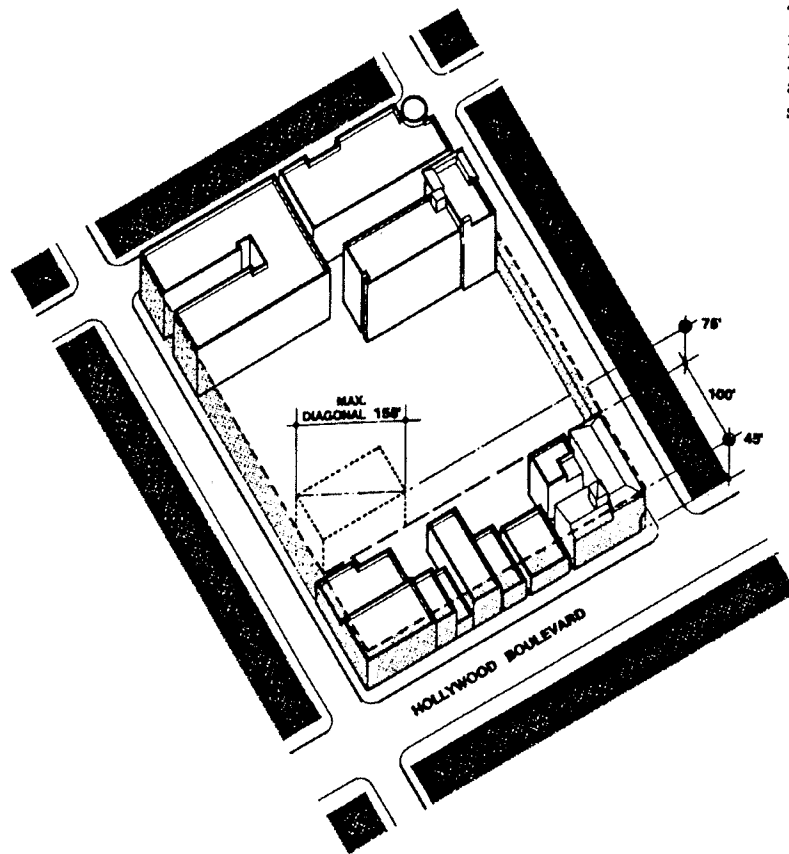
-  45' Height Limit
-  105' Height Limit
-  150' Height Limit
-  150'+70' Height Limit Boundary
-  45' +30' Height Limit
-  75' Height Limit

Figure 7-14

The 45-foot height may be increased by 30 feet in residential areas if additional standards are met.



**4. 100/105 Foot Height Limit**

A 100/105-foot height limit, 100 feet deep along Hollywood Boulevard and 50 feet deep along Highland Avenue in Boulevard West allows for the continued dominance of the Security Pacific Bank Building (see Figure 7-12A and Figure 7-12B13).

*As noted below, two options are presented to regulate the 150-foot height limit. Alternative Figure 7-12A shows a maximum allowed height of 150 feet. Alternative Figure 7-12B shows a height limit of 150 feet with an ability to rise an additional 70 feet in designated areas.*

**5. 150-Foot Height Standard Plus 70-Foot Addition**

**Option 5A. 150 Foot Height Standard**

A 150-foot height standard at Hollywood Boulevard's intersections with Vine Street and Highland Avenue relates to the traditional 150 height limit which regulated the height of Hollywood's historic skyline during its formation (see Figure 7-14A and Figure 7-15A).

### **Option 5B.-----150 Foot Height Standard Plus 70 Foot Addition**

A 150-foot height standard at Hollywood Boulevard's intersections with Vine Street and Highland Avenue relates to the traditional 150-foot height limit which regulated the height of Hollywood's historic skyline during its formation. To ensure a balance between massing, density, open space, and height, particularly when bonus density and housing incentive units are authorized, an addition of up to 70 feet over the 150-foot height limit ~~is recommended~~ may be permitted by the Agency if the following criteria are met (see Figures 7-44B15 and 7-45B16).

- No portion of any proposed structure in excess of 150 feet in height within Boulevard East or Boulevard West shall be closer than 100 feet from the property line immediately adjacent and parallel to Hollywood Boulevard and 50 feet from the property line adjacent to any other public street.
- ~~In Boulevard West, the maximum Plan diagonal of any building portion in excess of 150 feet in height shall be 125 feet and building faces in excess of 150 feet shall be a maximum of 120 feet in length. In Boulevard East, the maximum Plan diagonal of any portion of a structure in excess of 150 feet in height shall be 155 feet and building faces of that portion of the structure in excess of 150 feet shall be a maximum of 140 feet in length. Measurement of the maximum Plan diagonal shall be to the outside surface of the building face.~~  
The maximum Plan diagonal of any building portion in excess of 150 feet in height shall be 155 feet and building faces of that portion of the structure in excess of 150 feet shall be a maximum of 140 feet in length. Measurement of the maximum Plan diagonal shall be to the outside surface of the building face.
- Those portions of buildings that exceed 150 feet shall be a minimum separation of 80 feet shall be maintained between from portions of other buildings which exceed 150 feet in height.
- Any variation from the 150 foot height standard shall require public review and recommendation by the community and approval by the Agency. As part of the design presentation to the community and the Agency, the developer shall submit an analysis of the impact of the proposed project on view corridors, vistas to and from Hollywood's skyline, and pedestrian views from surrounding streets.

### **7.3.B. Architectural Extensions and Rooftop Equipment**

Hollywood's buildings incorporate a variety of rooftop expressions, including corner towers, pylons, steeply pitched mansards, and rooftop signs and symbols. Extensions are often used to screen rooftop and mechanical equipment. To encourage skyline creativity, the use of architectural extensions is encouraged by the Agency provided the following ~~recommended~~ performance standards are met (see Figure 7-44).

- Architectural extensions shall not be inhabitable.
- Architectural extensions shall comprise a maximum plan area of 25% of the gross square footage of a building's top inhabited floor.
- Architectural extensions not exceeding 150% of the maximum allowed height, ~~shall~~ should be allowed to exceed the maximum allowed height, except in areas where the by-right height limit is 150 feet. In those areas architectural extensions are limited to a maximum allowed height of 220 feet above grade, with the exception of a Architectural extensions exceeding 150 feet in height ~~which~~ shall require the review and recommendation of the community and approval of the Agency.
- Rooftop mechanical equipment shall be completely screened from lateral and pedestrian view. Mechanical penthouses shall be integral to the design of the building and at a minimum should incorporate similar facade treatments and colors utilized in the design of the rest of the building.

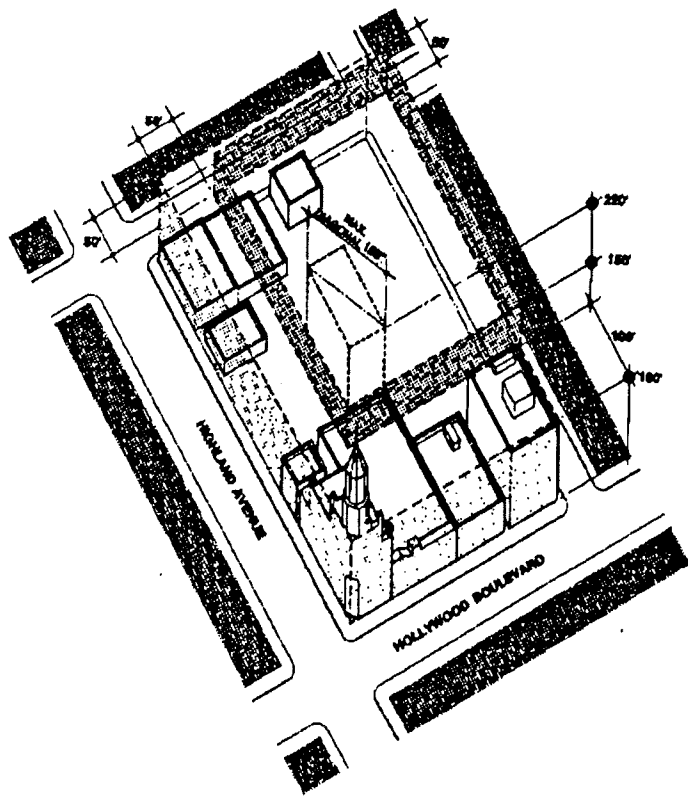


Figure 7-15

An additional 70 feet above the traditional 150-foot height limit at Hollywood and Highland shall be allowed if additional criteria are met.

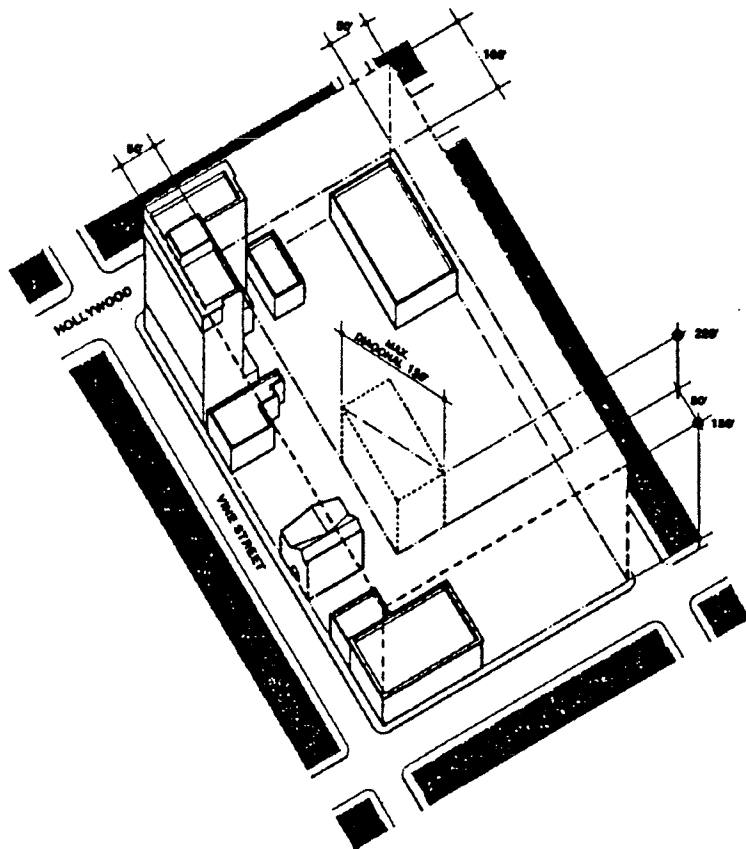


Figure 7-16

An additional 70 feet above the traditional 150-foot height limit at Hollywood and Vine shall be allowed if additional criteria are met.

## 7.4 ARCHITECTURAL STANDARDS AND GUIDELINES

### 7.4.A. Built Form Standards for Boulevard Mixed Use and Commercial Mixed Use Land Use Areas

This Plan ~~recommends~~ establishes the following policies, standards and guidelines for that projects within the Boulevard Mixed Use and Commercial Mixed Use areas (see also Chapter 3, "Land Use and Density," Figure 3-4) ~~be required to meet the following policies, standards and guidelines.~~

#### 1. Rule of 100 Feet Modulation

A close relationship exists between the original parcelization of land into 50-foot wide parcels in Hollywood and the resulting dimensions of existing buildings. Commercial buildings along the Boulevard typically were built on combinations of one, two, or three 50-foot parcels.

To maintain the intricate relationship between new buildings and Hollywood's original parcelization, the following standard is ~~recommened~~ established (see Figures 7-4-617).

- Street facades within Boulevard Mixed Use and Commercial Mixed Use areas shall express modulation or variation in the design of architectural elements such as varied wall planes at least once every 100 feet along parallel to the Hollywood Boulevard and once every 150 feet along parallel to other streets. This modulation may be attained through the use of modest recesses, projecting bays, major changes in massing, and/or major changes in material and color.

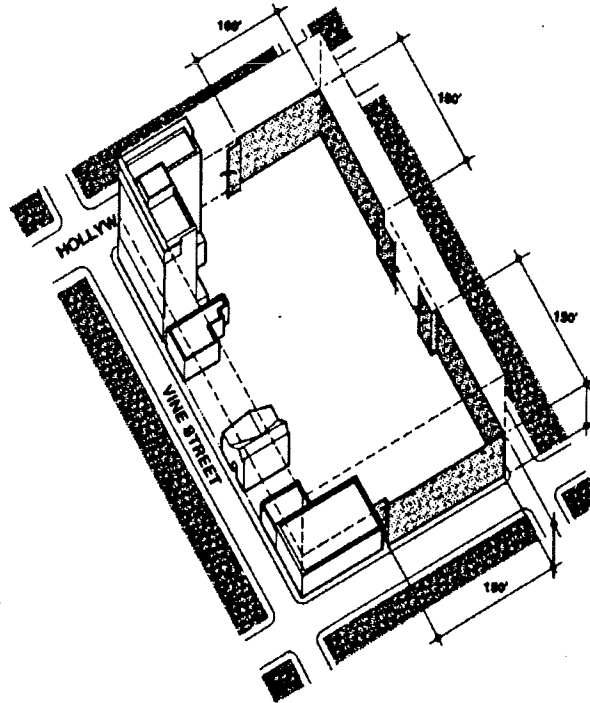


Figure 7-17

Street facades shall express modulation, such as varied wall planes, at least once every 100 feet along the Boulevard and once every 150 feet along other streets in the Boulevard Mixed use and Commercial Mixed Use land use areas.

## 2. Verticals and Horizontals

Many of Hollywood's historic commercial buildings feature strongly articulated bases, detailed lower floors, vertically grouped windows, and classically inspired detail including horizontal string courses and cornices (see Figure 7-4718). The intimate quality of many of the Boulevard's buildings is the result of multitudinous vertical divisions expressed as facade bays. Fifteen to twenty-foot ~~Modest~~ bay dimensions create a lively cadence of shop windows, architecturally expressed structure, and sidewalk entries. The District's taller buildings typically emphasize primary vertical elements, such as pilasters and columns, over secondary horizontal elements such as spandrels and lintels.

To maintain this quality of vertical and horizontal visual complexity, the following standard ~~is recommended~~ shall be observed (see Figure 7-4819).

- The architectural composition of new structures shall utilize a combination of major and minor vertical and horizontal elements on facades which face public streets or easements. The following performance standards shall apply with regard to these elements.
  - The maximum dimension of facade bays from center of frame to center of frame shall be approximately 20 feet. ~~The~~ Further subdivision of the resulting vertical frames into minor bays is encouraged.
  - A maximum of 20% of a building's bays may vary in plan from approximately 20 feet by up to an additional 10 feet ~~in plan~~.
  - The top story of buildings which are greater than 30 feet in height are ~~excluded~~ exempt from the 20-foot maximum bay requirement.
  - Undifferentiated vertical and horizontal grids where the framing and infill elements are all the same size, material and color shall be prohibited.
  - The repetition of similar ~~B~~ building facade modules which face public streets or easements should not ~~repeat~~ occur more than seven times.

## 3. Rule of Facade Depth

Boulevard buildings are typically articulated by ~~surface breaks where~~ which are punched into solid masonry or masonry-like surfaces while other elements, such as sills and ornament, create contrasting areas of light and shadow. The result is a ~~the~~ distinct quality of facade depth.

To relate to the Boulevard's existing buildings, which typically incorporate this trait, the following standard ~~is recommended~~ shall be observed (see Figure 7-4920).

- Each facade which ~~faces~~ adjoins a public street shall have a ~~quality of~~ facade depth created through the use of individual windows set into the wall surface, shadow lines, articulation of building edges, breaks in surface plane, reveals, ornament, or similar devices.





Figure 7-18

The street facades of many historic commercial buildings such as the Equitable Building at 6253 Hollywood Boulevard have strongly articulated vertical and horizontal organizational systems.

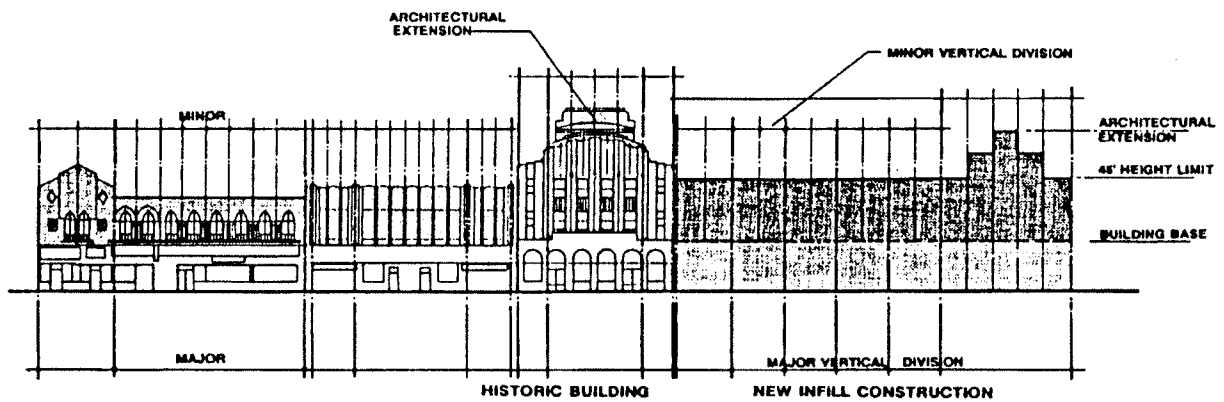


Figure 7-19

The street facades of new structures shall combine major vertical divisions, minor vertical divisions, and horizontal divisions according to standards regarding dimension, differentiation, and repetition.

#### 4. Height Standards

Height standards shall be ~~are~~ outlined in Section 7.3.

#### 5. Streetwall Integrity and Setbacks

One of Hollywood's defining built-form characteristics is the continuous wall of buildings immediately parallel to the Boulevard's sidewalks contrasted with streets where structures are ~~uniformly~~ typically set back from front property lines (see Figure 7-~~20~~21). The goal of the following ~~recommended~~ street wall and setback standards is to maintain the integrity of Hollywood's streetwalls as new infill development occurs and to prohibit the construction of "mini-mall" type projects which set back from the sidewalk.

- Required streetwall and setback standards are illustrated in Figure 7-~~21~~22 and are further defined by the following criteria.
  - - Within the Main Street subdistrict the front building plane(s) shall be at least 30 feet high and ~~adjacent~~ within 3 feet of and parallel to the public sidewalks for at least 75% of its length (see Figure 7-~~22~~23).
  - - Within Boulevard East and West, the front building plane(s) shall be at least 45 feet high and ~~adjacent~~ within 3 feet of and parallel to the public sidewalks for at least 75% of its length. Above 45 feet in height, up to 40% of the ~~front buildingsidewalk facade~~ plane may be set back from the front building plane (see Figure 7-~~23~~24).
  - - Prevailing front yard setback shall be defined as ~~that~~ the most common setback which occurs most commonly as determined by measuring the distance of each building from the front property line on the side of a block on which a project is proposed (see Figure 7-~~24~~25).
  - In Boulevard South a minimum 7 1/2-foot setback and/or the prevailing setback shall be maintained on the north and south sides of Selma Avenue between Cherokee Avenue and Hudson Avenue (see also Section 5.4.C, Figure 5-4, and Figure 7-22).

#### 6. ~~Adjacency to Significant Structures~~

~~The following standard is recommended (see Figure 7-25).~~

- ~~Above 45 feet in height, new buildings which share a common building line or party wall with significant structures as defined by this Plan and the Redevelopment Plan, shall have minimum 12-foot setbacks perpendicular to both the street and the common building line. New structures whose height is no more than 15 feet greater than adjacent significant structures shall be exempt from this recommendation.~~

#### 7. ~~Rooftop Equipment~~

~~The following standard and guideline are recommended:~~

- ~~Rooftop mechanical equipment shall be completely screened from lateral and pedestrian view.~~
- ~~Mechanical penthouses should be integral to the design of the building and at a minimum should incorporate similar facade treatments and colors as utilized in the design of the rest of the building.~~

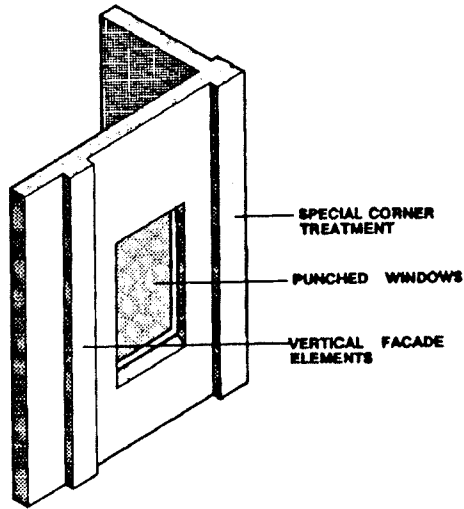


Figure 7-20

Street facades shall have a quality of facade depth created through the use of individual windows set into the wall surface, shadow lines, articulation of building edges, breaks in the surface plane, reveals, ornament, or similar devices.

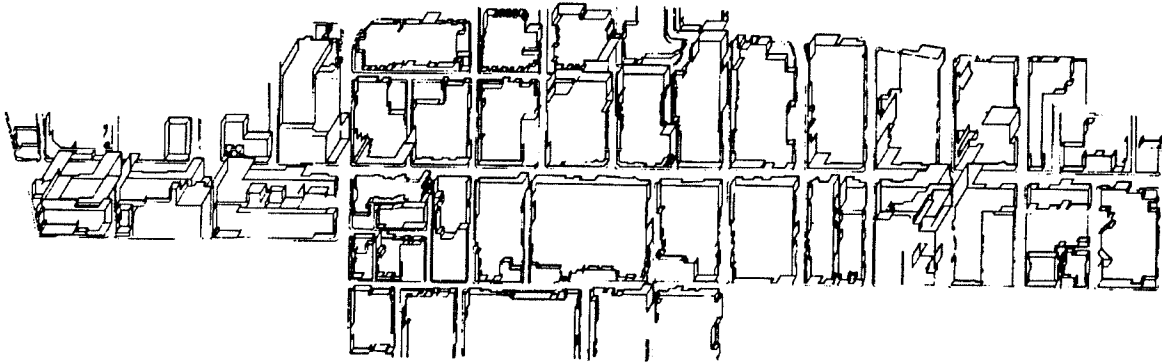
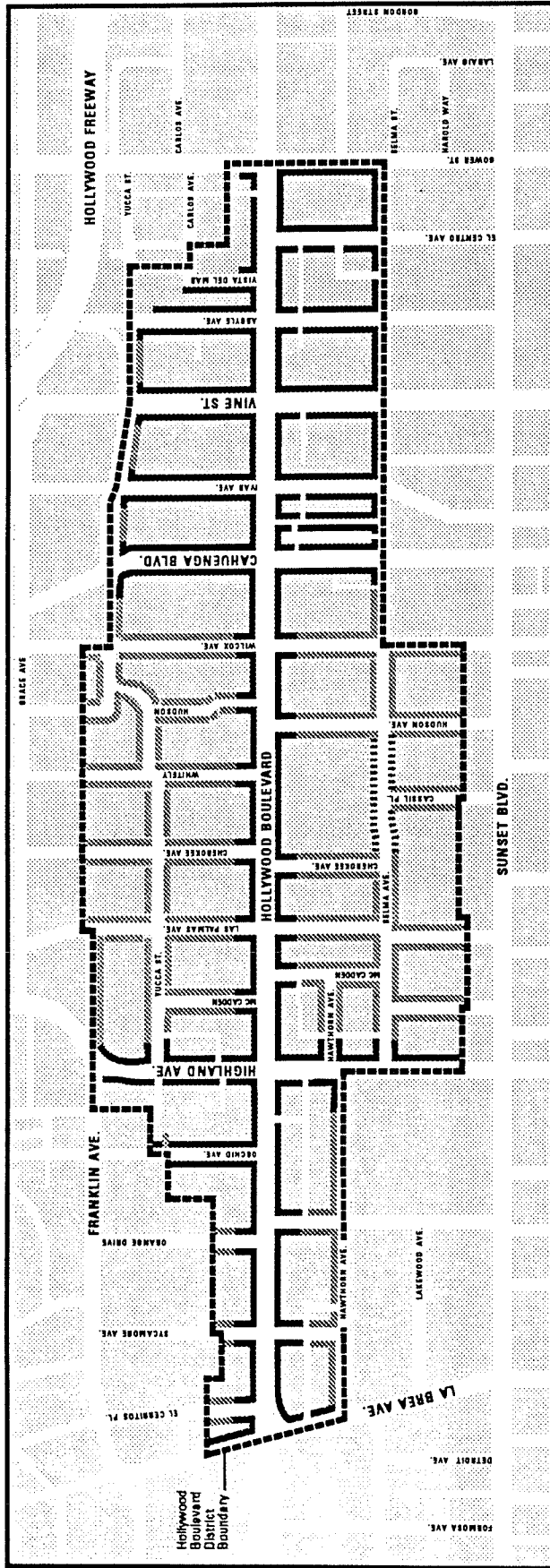




Figure 7-21

One of Hollywood's defining built form characteristics is the continuous wall of buildings immediately parallel to the Boulevard's sidewalks contrasted with streets where structures are uniformly set back.

Figure 7-22



Legend

-  Maintain Streetwall
-  Maintain Minimum 7.5 ft. Setback or Prevailing, Whichever is Greater
-  Maintain Prevailing Setback

The setback standards maintain the integrity of Hollywood's existing streetwalls.

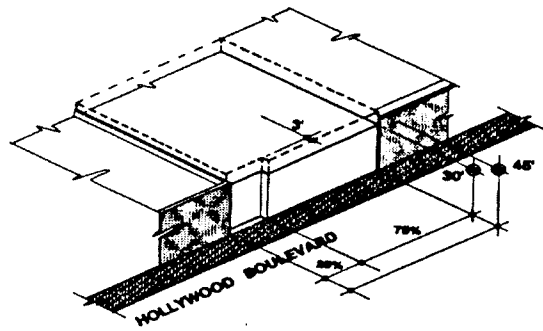


Figure 7-23

Within the Main Street Subdistrict, front building planes shall be at least 30 feet high and adjacent within 3 feet and parallel to the public sidewalk for at least 75% of their length.

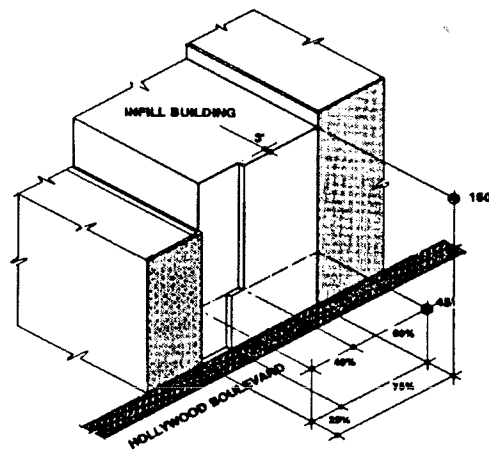


Figure 7-24

Within the Boulevard East and West subdistricts, front building planes shall be at least 45 feet high and adjacent within 3 feet and parallel to the public sidewalk for at least 75% of their length. Above 45 feet, up to 40% of the front building plane may be set back.

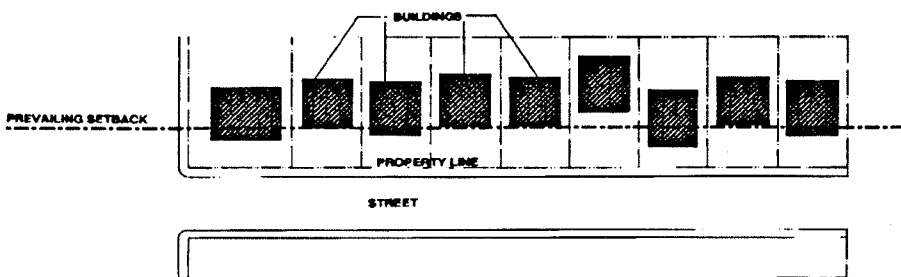


Figure 7-25

The prevailing front yard setback is the most common distance between buildings and front property lines on the side of a block where a project is proposed.

## 86. Storefronts

Storefronts create areas for display and invite people to browse. To maintain the visual connection between the District's ground level retail interiors and adjacent sidewalks, the following standards and guidelines are recommended shall be observed (see Figure 7-26).

- Storefronts shall be a minimum of 12 feet in height.
- Between heights of 3 and 12 feet, storefront areas shall be a minimum of 60% clear glass. Storefronts should incorporate transoms of clear glass and/or detailed fascias.
- To relate to the traditional design of storefronts in Hollywood, the overall proportion of storefronts should be approximately square and should have a maximum ratio of 1.5 feet of height for each foot of length. ~~Use of transparent transoms and/or detailed fascias is encouraged.~~
- The design of recessed entries to storefronts and recessed display windows is strongly encouraged within new infill construction.
- Security grills should be located behind windows, or ~~be roll down or shall~~ be transparent grill type. ~~The design of Roll down grills should~~ shall be integral to the design of the new storefronts.

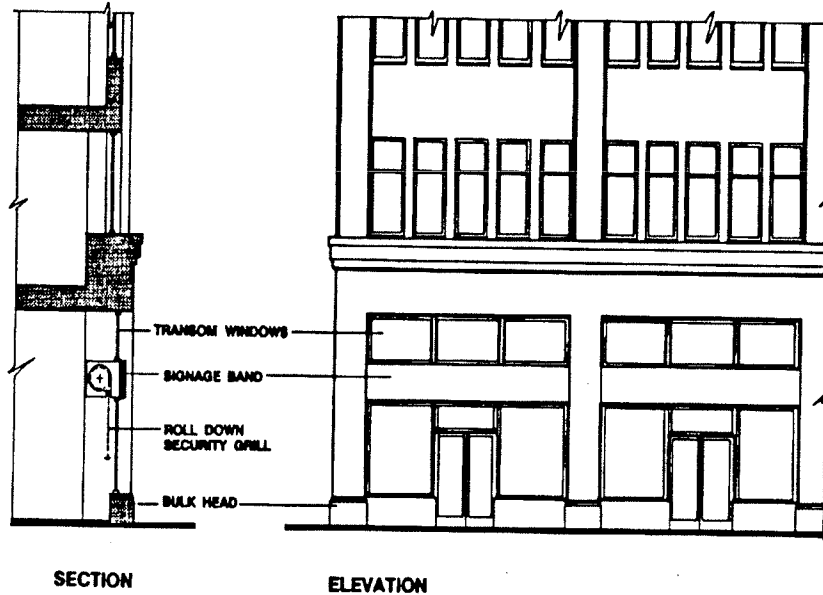


Figure 7-26

To relate to the traditional design of storefronts in Hollywood, the overall proportion of storefronts should be approximately square and should meet standards regarding height, glazing, and placement of security grills. The use of transparent transoms is encouraged.

## 97. Awnings and Pole Mounted Canopies

Awnings and pole mounted canopies have traditionally been used in front of commercial storefronts to provide shelter and identity, and their use is encouraged. Awnings or canopies which project more than 30 inches over a public right of way may also required the approval of the City of Los Angeles

Cultural Affairs Department. and With regard to awnings and pole mounted canopies, the following standards are recommended shall be observed (also see Section 7.7.C.3, "Architectural Canopy and Pole Mounted Canopy Signs"):

- Awnings shall be individually integral within the shape, form and dimensions of the building bays or framing elements at its attachment to the building.
- Pole mounted canopies shall be integral within the shape, form and dimensions of the building bay or framing elements at its attachment to the building.

#### **408. Balconies**

Balconies are not typically seen in the design of the District's commercial buildings, though loggias are sometimes utilized to mark a building's top floors. The following guidelines ~~are recommended~~ with regard to balconies should be observed;

- Balconies should be integral to a building's form and mass and not project individually from the main volume of a structure.
- Balconies should be aligned with the building's vertical elements and building bays.

#### **419. Trash Enclosures**

The following standard with regard to trash enclosures is recommended shall be observed.

- Trash enclosures shall be provided and integrated into the design of the new or rehabilitated structures and be completely screened from view.

#### **4210. Parking Structure Standards**

Parking structures should be designed with the same care and principles as any other building in the District. The following parking structure standards ~~are recommended to ensure that these buildings positively relate~~ positively to the historic context of the District and fit the Boulevard's built form pattern in terms of massing, scale, and articulation (see Figures 7-27 and 7-28).



Figure 7-27

Parking structures, such as this new structure in Pasadena, should be designed with the same care and principles as any other building and should respect the context of the Boulevard District.



- Those portions of parking structures visible from public sidewalks and streets shall comply with the built form policies, standards, and guidelines of this ~~Section~~Chapter.
- Parking shall be prohibited within 50 feet of sidewalk property lines ~~adjacent~~adjoining and parallel to Hollywood Boulevard.
- Within 20 feet of ~~these~~ public sidewalks ~~outlined~~included within the Parking Overlay Zone (see Chapter 3, "Land Use and Density," Figure 3-10) at grade retail or other permitted uses shall be incorporated within the parking structure. ~~or adjacent to~~ If the bulk of the parking structure is set back more than 20 feet from the sidewalk, level-of-garages retail or other permitted uses shall be included in the area adjacent to the sidewalk.
- Within the National Register Hollywood Boulevard Commercial and Entertainment District, sloping slabs and associated architectural and structural elements shall be screened from the view of adjacent public sidewalks and streets. The articulation of screening facades visible from public sidewalks and streets must adhere to the standards and guidelines of Section 7.4.A.
- To enhance the safety of parking structures, the interior and exterior of these buildings shall be well lighted. Both interior and exterior lighting shall be oriented away from the street to prevent glare, and shielding measures shall be shown in drawings submitted to the Agency.

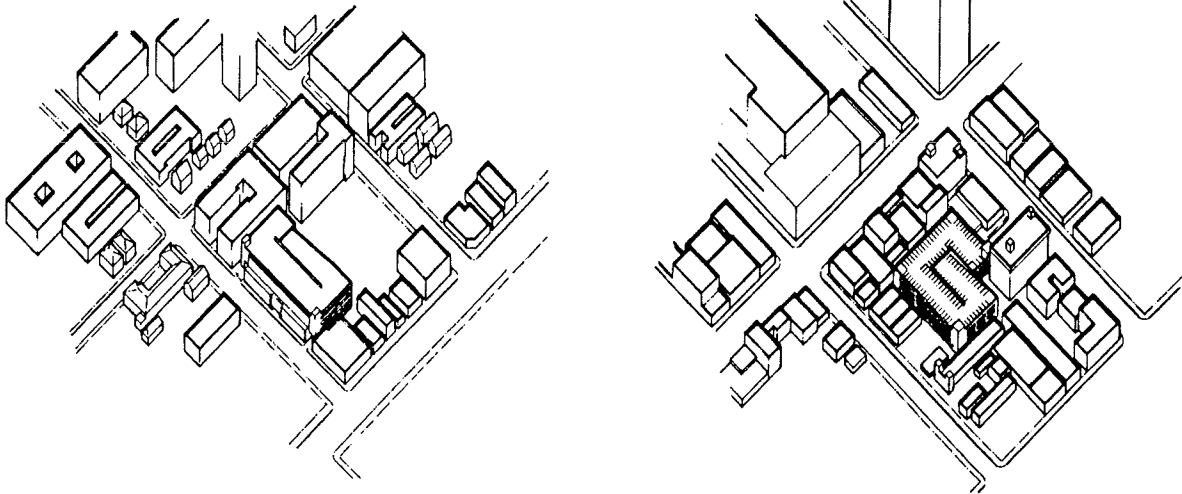


Figure 7-28

Portions of parking structures visible from public sidewalks and streets shall comply with the built form policies, standards and guidelines of this Plan and shall also meet standards regarding location, incorporation of other uses, and security lighting.

#### **7.4.B. Built Form Standards for Residential Mixed Use and Residential Land Use Areas**

This Plan ~~recommends that~~ establishes the following policies, guidelines and standards apply within the Residential Mixed Use and Residential land use areas (see also Chapter 3, "Land Use and Density," Figure 3-4).

##### **1. Rule of 100 Feet Modulation**

As with Hollywood's commercial buildings, residential structures were ~~constrained~~ influenced by dimensions resulting from a combination of one, two, or three parcels of land, that were typically 50 feet in width. To maintain the small scale built form pattern suggested by which evolved based upon the original parcelization, the following standard ~~is recommended~~ shall be observed in Residential Mixed use and Residential land use areas (see Figure 7-29).

- Street facades shall not exceed 100 feet in length unless separated by a minimum 10-foot deep by 20-foot wide court or setback at each inhabitable level.

##### **2. Street Facing-Facade Modulation Between 35 and 45 Feet in Height and Above 45 Feet in Height**

The following standards ~~is recommended~~ shall be observed in Residential Mixed Use and Residential land use areas (see Figure 7-29).

- A minimum of 40% of the length of any street facing facade above 35 feet in height shall be set back a minimum of 5 feet from the front building plane, or be within an area defined by a plane inwardly inclined at 30° from a 35-foot height at the front building plane.
- Above 45 feet in height, where permitted, a minimum of 40% of any street facing facade shall be set back a minimum of 5 feet from the front building plane(s).

##### **3. Rule of Facade Depth**

Hollywood's historic residential buildings are typically simple geometric forms organized around open spaces, articulated by richly detailed individual windows of varying sizes related to internal use, and set into the wall surface (see Figure 7-30). Facades are defined by the play of light over flat surfaces which create the perception of facade depth and solidity. To relate to the District's existing residential architecture the following standard ~~is recommended~~ shall be observed.

- Each wall surface shall ~~have a quality of~~ incorporate facade depth created through the use of individual windows set into the wall surface, facade surface breaks, shadow lines, articulation of edges, reveals, changes in material, ornament or similar architectural devices.

##### **4. Height Standards**

Height standards ~~shall be~~ are outlined in Section 7.3.

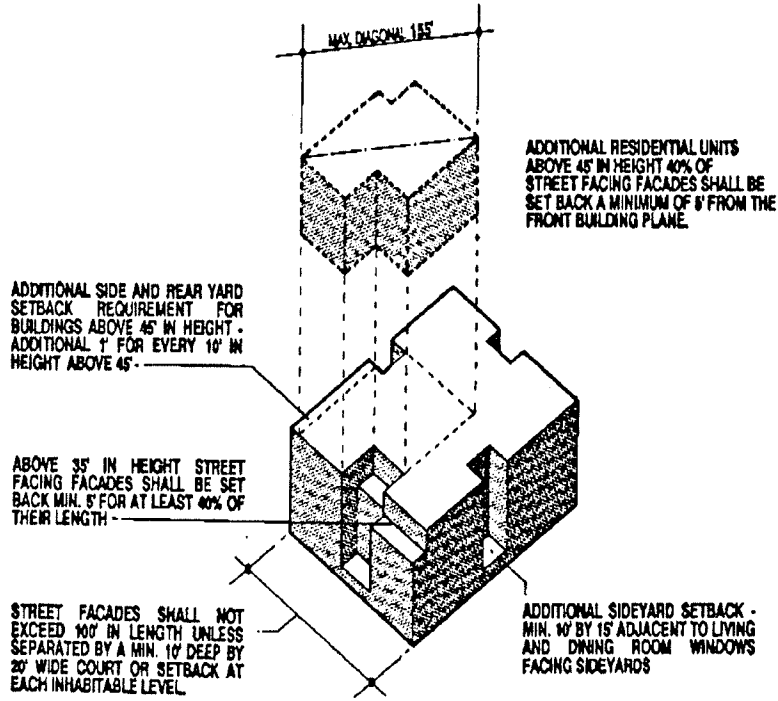


Figure 7-29

Structures within Residential and Residential Mixed Use land use areas shall meet standards regarding yard setbacks, building setbacks, and street facade length.

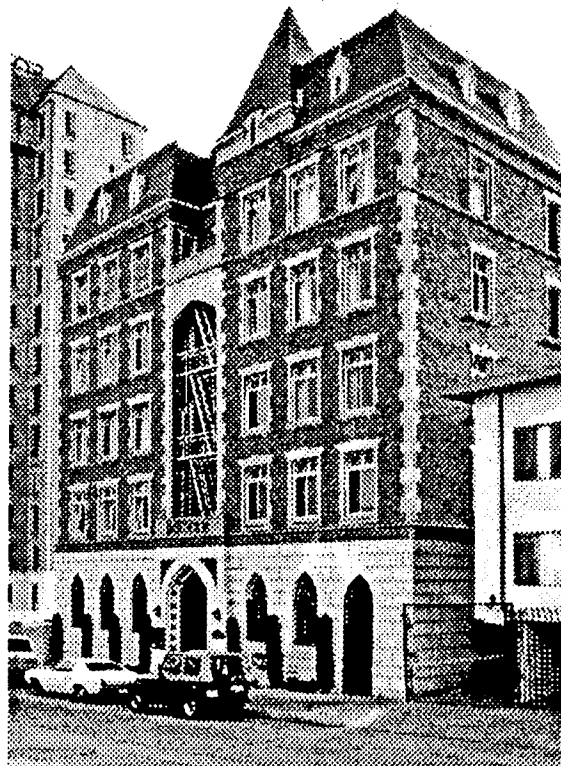


Figure 7-30

Hollywood's historic residential buildings, such as the Fleur De Lis at 1825 Whitley Avenue, are typically simple geometric forms articulated by richly detailed windows and other architectural features which create the perception of facade depth and solidity. Wall surfaces in new structures shall have the same quality of facade depth created through the articulation of windows, surface breaks, shadow lines, edges, reveals, changes in material, ornament, or similar architectural devices.

## 5. Setbacks

Setbacks should not be thought of as building separations but as useable open space, integrating mixing interior life with the outdoors. The following recommended setback policies, standards, and guidelines ensure maintenance of the prevailing residential streetwall, adequate separation between housing structures, privacy between adjoining properties, and integration of coordinate indoor with outdoor spaces. Recommended landscape policies, standards, and guidelines regarding landscaping for setbacks are discussed in Chapter 5, "Open Space," Section 5.6.

- Front Yard Setbacks: ~~Typical setbacks in Boulevard North are recommended to be 15 feet or greater. In Boulevard North and Boulevard South, recommended front yard setbacks are recommended to shall~~ be based upon the prevailing setback of buildings from the front property line. The following standards ~~are recommended shall~~ be observed.
  - ~~Recommended front yard setbacks are defined in Figure 7-2422. The prevailing front yard setback shall be defined as that setback which occurs most commonly as determined by measuring the distance of each building from the front property line on the side of a block on which a project is proposed (see Figure 7-2425).~~
  - To minimize the occurrence of graffiti, security fences, garden walls, and retaining walls shall be set back a minimum of 2 feet from the sidewalk, and the resulting parkway planted with appropriate ground cover, climbing vines and/or vertical shrubs.
  - Existing and new front yard setbacks should be maintained to the maximum extent feasible as landscape setbacks and no vehicular parking shall be permitted within this setback area.
- Side Yard Setbacks: To ensure adequate separation and privacy of primary living areas the following standard ~~is recommended shall~~ be observed (see Figure 7-29).
  - Side yard setbacks of at least 10 feet measured perpendicular to the property line shall be provided where living room and dining room windows are adjacent to the side yard. These setbacks shall be a minimum of 15 feet in length.
- Rear Yard Setbacks: When parking is placed within a rear yard setback, the following rear yard setback standard is recommended shall be observed.
  - A useable deck no more than 9 feet above natural grade at any point along the rear property line shall be provided over parking within a required rear yard setback.

## 6. Boulevard North Common Open Space Standard

This Plan ~~recommends~~ requires that common open space be provided for all construction in the Residential Mixed Use and Residential land use areas in

Boulevard North. The provision of common open space in this area creates a transition from the open landscape of the nearby hills to the urban streetwall of the Boulevard. This open space requirement also encourages the reintroduction of housing types which incorporate semi-private/public open space and off-street courts. With regard to residential open space, the following standards and guidelines are recommended shall be observed.

- Common open space shall be provided at the ratio of 100 square feet of open space per dwelling unit in Boulevard North. Surface parking spaces, ingress and egress drives, and areas within required front, side, and rear yard setbacks as required by the City of Los Angeles Zoning Code shall not be counted when calculating the required square footage of common open space.
- 60% of the common open space shall be common to all units while up to 40% of the common open space may take the form of open but private balconies and/or patios.
- At least 60% of the common open space common to all units shall be at grade or no higher than the first inhabited area.
- At least 25% of the common open space common to all units shall be landscaped and mechanically irrigated with bubblers, sprinklers or like irrigation systems.
- Housing incentive units as defined by Section 505.3 of the Hollywood Redevelopment Plan shall be exempt from the Boulevard North common open space requirements.
- ~~At least 60% of the common open space common to all units should be at grade or no higher than the first inhabited area.~~

## 7. Height and Orientation of Entry

The following standards and guidelines for entries to new buildings are recommended to ensure residents a clear view of the street and heighten collective responsibility for neighborhood security. With regard to height and orientation of entry, the following standards and guidelines shall be observed.

- Entries to new buildings shall be oriented to the public sidewalk and shall ~~be a maximum of~~ not be higher than 9 feet above the elevation of the public sidewalk at its nearest point to the entry.
- Entries ~~should~~ shall be marked, through the use of architectural elements such as porches, gateways, entry alcoves, awnings, and portals.
- Direct entry to individual units or clusters of units is strongly encouraged as a means of increasing the activity and safety of adjacent sidewalks.

## 8. Balconies

Residential balconies, with the exception of French balconies and doors, or the occasional Spanish Revival style loggia, were not typically used as building elements in the design of the Boulevard District's older residential buildings. With regard to balconies, the following guideline is recommended should be observed.

- Balconies should be integral to a building's form and mass and should be a minor element in the definition of a building's architectural character.

## 9. Rooftop Equipment

With regard to rooftop equipment, the following standard is recommended shall be observed.

- Rooftop mechanical equipment shall be completely screened from lateral and pedestrian view. Mechanical penthouses shall be integral to the design of the building and at a minimum should incorporate similar facade treatments and colors as utilized in the design of the rest of the building.

## 10. Trash Enclosures

With regard to trash enclosures, the following standard is recommended shall be observed.

- Trash enclosures shall be provided and be integral to integrated into the design of the new and rehabilitated structures and be completely screened from view.

## 11. Vehicular and Structured Parking Requirements

Many of the new apartment buildings constructed within Hollywood are massive box-like structures floating over eaged vehicle pens open to the sidewalk garages. Front yards become forgotten concrete parking lots. This end result is ill related to the Boulevard District's sidewalk character and the creation of a neighborhood environment.

The following standards and guidelines are recommended to provide a better balance in residential neighborhoods between the needs space requirements of the automobile and the quality of the pedestrian environment of the surrounding streets and sidewalks.

### a. Vehicular Access

- Access driveways to garages or parking areas ~~shall~~ should not exceed 12 feet in width for each 50 feet of street frontage and the minimum separation between drives shall be 50 feet.
- The maximum width of an access drive shall not exceed 24 feet.

### b. Structured Parking: Height Above Grade

- The maximum floor to floor height of an above grade garage shall not be greater than 9 feet above grade at any point along the front yard setback line. Parking garages may exceed this height limit if the public street facing sides of the parking area are completely screened with dwelling units (see Figure 31).

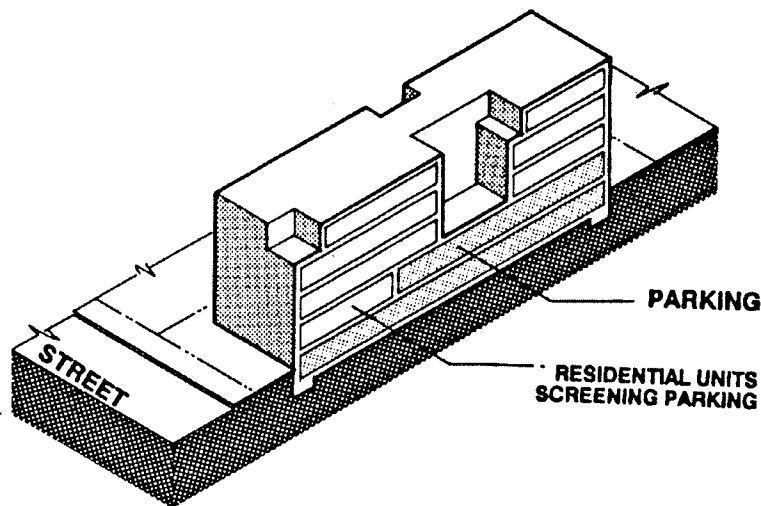
### c. Integration of Parking Into Overall Design Concept

- Parking garage areas should be designed to be integral blend in with the form and massing of the building.
- The interior of parking areas shall be screened from the view of the sidewalks and streets.
- With the exception of vehicular ingress, egress and lobby areas, walls which screen parking areas and face public streets shall be

of opaque construction and individual openings into the opaque area shall not exceed 9 s.f. in size with the total square footage of these openings not to exceed 10% of the garage wall area.

d. Ceiling Height of Retail

- In Residential Mixed Use Areas, the floor to floor height of ground floor commercial space shall be a minimum of 9 feet in height.



SECTION

Figure 7-31

Garages shall not be greater than 9 feet above grade at any point along the front yard setback line. Parking garages may exceed this height limit if the sides of the parking area are completely screened from public streets with dwelling units.

## 7.5 MATERIALS AND COLORS

Observation of Hollywood's buildings from the turn of the century through the 1930's suggests a strong tradition with regard to color and materials. Commercial buildings typically are made of solid materials such as stone, terra cotta glazed to look like stone, brick, and various smooth trowel cementitious surfaces. Individual windows are set into the walls. The color palette of these buildings is usually light. Earth tones or various shades of creamy pastels highlighted by darker accent colors at windows and other framing elements predominate. Large residential buildings are typically smooth troweled stucco or brick while smaller wood-frame structures are generally finished with stucco or various types of wood or shingle siding.

Based upon these observations the following policies, standards, and guidelines are recommended shall be observed.

### A. Materials and Color

- The majority of a building's surface area should be of opaque construction with individual windows set into the wall.
- The maximum combined surface area of vision and spandrel glass shall be 60% of a building's surface area.

- Exterior finishes which are compatible with those of existing historic buildings in the Boulevard District are encouraged. The covering of existing exterior masonry or brick on "significant" structures with stucco, sprayed gunite, or paint is prohibited unless a public safety concern warrants their use (see also Chapter 4, Section 4.3.C).
- Building surfaces should be primarily of light colored materials highlighted by brighter and darker trim and accent colors.
- There should be a clear contrast in color between a building's surface materials and a building's glazed areas.
- Use of ~~original~~typical Hollywood colors as described above is strongly encouraged and may be required in the rehabilitation of significant structures.
- An analysis of a significant building's color history based upon scrapings or other techniques may be required as part of an historic assessment as outlined in Chapter 4, "Urban Conservation and Cultural Revitalization," Section 4.3.A.

#### B. Glazing

- Use of clear glass is strongly encouraged throughout the District, particularly on Hollywood Boulevard.
- Use of clear glass is required~~is required~~shall be utilized for the first two levels of buildings within the Boulevard Mixed Use and Commercial Mixed Use designations~~designations~~land use areas, ~~is required~~shall be utilized for the first level of buildings within the Residential Mixed Use land use area, and ~~is required~~shall also be utilized for all lobby areas within the Residential land use area.
- Reflective glass is prohibited.

### 7.6 ARCHITECTURAL LIGHTING

At night, the Boulevard's shop windows, neon signs, and dramatically lit buildings such as the Security Pacific Tower at Hollywood Boulevard's intersection with Highland Avenue combine to create a charged atmosphere which suggests activity, movement, excitement and magic. The following guideline encourages the continuation of this night-time lighting tradition (see also Chapter 5, "Open Space," Section 5.3.B).

- Use of architectural lighting to highlight building features such as towers, shop windows, and entries is strongly encouraged, particularly along the Boulevard.

### 7.7 SIGNAGE

#### OBJECTIVE

*New commercial and public signage should be compatible with Hollywood's significant architecture, character, and historic signs, and contribute to the creative tradition which is a visual hallmark of the District.*

#### A. Overview

Photographs of Hollywood Boulevard from the 1920's and 1930's reveal that most signage was coordinated with the underlying rhythm, scale and modulation of the architecture (see Figure 7-32). Signs and awnings were typically positioned comfortably within the building's structural bays. Projecting signs and marquees were aligned with major horizontal and vertical building elements, such as floor breaks and structural bays. Even small signs respected the limits set by the dimensions of transom windows and display window frames.



In the intervening years, as signs and fascia panels were placed on buildings without regard for the buildings' structural bays, rhythm, or architectural features, the visual quality of the Boulevard deteriorated. Where once the buildings were dominant with street level signage complementary, but subordinate, the situation became reversed and the balance between signage variety and architectural order was lost.

Underlying the recommended signage policies, standards, and guidelines of this Plan is the recognition that rigid standards would not have encouraged the creation of some of Hollywood's most beloved images, such as Fredrick's, the Pacific Theater, or Musso & Frank's (see Figure 7-33). The following recommended standards recognize that lively signage is not disruptive to a building's character as long as it reads as an independent, transparent "layer" in contrast to or through which the original architecture is dominantly visible.



Figure 7-32  
Historically, signs such as this example at 6423 Hollywood Boulevard and awnings were positioned within the building's structural bays.

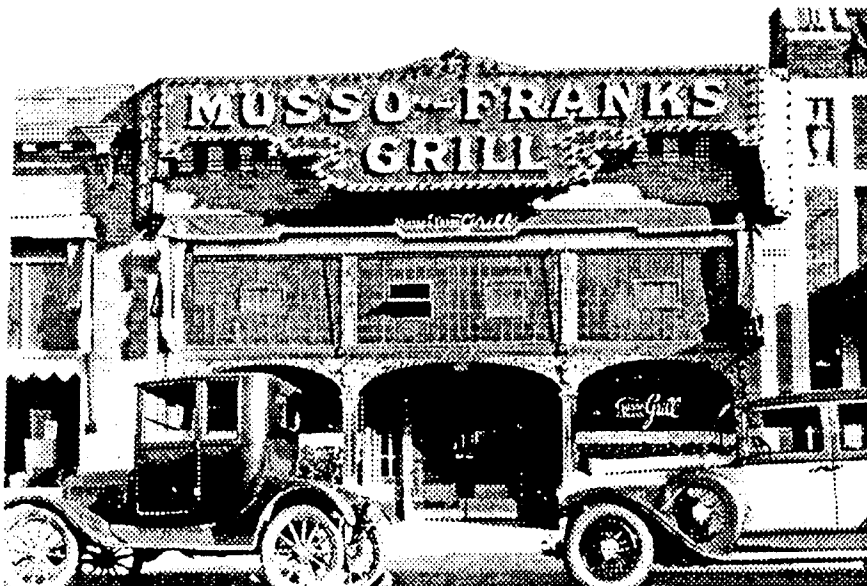


Figure 7-33  
Rigid signage standards would not have allowed some of Hollywood's most beloved images such as this historical view of Musso and Frank's, which is located at 6663 Hollywood Boulevard.

## B. General Signage Standards and Guidelines

The following general signage standards are ~~recommended~~ shall be observed (see Figure 7-34).

### 1. Rule of the Building Grid Rhythm and Modulation in Relationship to Building Bays

~~The following standards are recommended.~~

- The rhythm and modulation of a building's architectural elements such as bays, frames, and displays windows shall serve as the basic grid to which the scale, dimension, and number of signs is related.
- Any sign or sign element shall maintain a clearance of at least 1 foot on all sides of the surrounding architectural elements that define the sign's space.

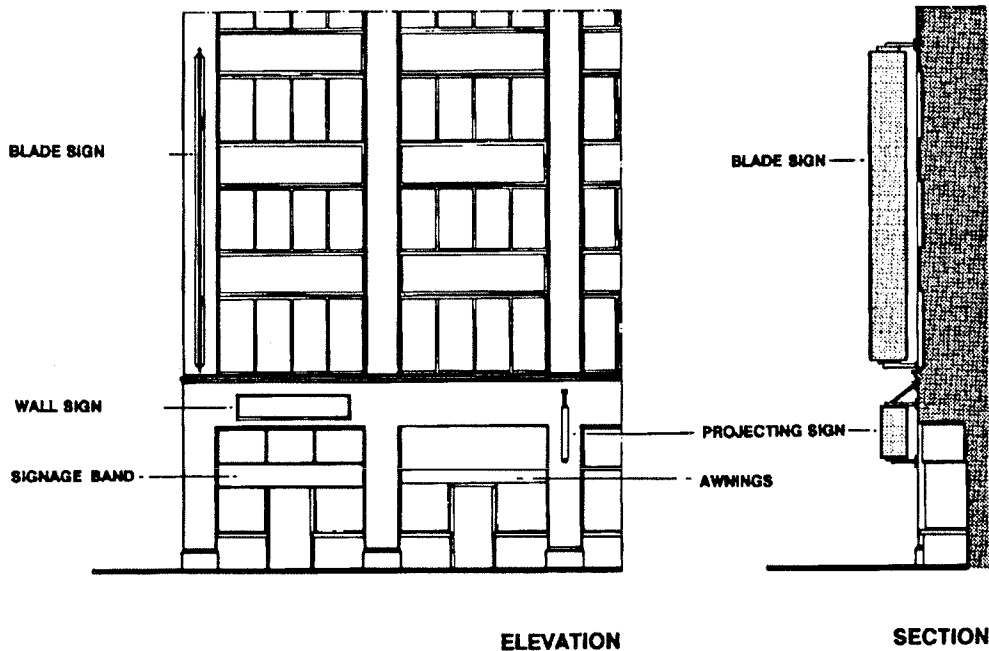


Figure 7-34

The Plan's signage standards include general recommendations regarding the placement, size, materials, and character of new signs.

### 2. Rule of Horizontals and Verticals

~~The following standard is recommended.~~

- The overall size and dimensions of signage shall honor the underlying building's major vertical and horizontal expressions such as bay framing, cornices, and string courses, shall be integrated into designated sign bands, or shall be configured as a transparent layer which allows the architecture to be visibly independent of the signage.

### 3. Signage Materials and Character

~~The following guideline is recommended.~~

- In keeping with the character and spirit of the District, use of individual channel or back-lit letters as well as exposed neon is strongly encouraged.

### C. Standards and Guidelines by Signage Type

The following ~~recommended~~ policies, standards, and signage guidelines supplement the standards found in Division 62 of the City of Los Angeles Building Code (see Figure 7-34).

#### 1. **Projecting Signs**

Narrow projecting or blade signs, mounted directly to vertical building faces, are seen throughout the District. At their best, they are graceful vertical modulating elements, lending a festive procession to the streetscape. To maintain the traditional scale and character of these signs the following standards are ~~recommended~~ shall be observed.

- Projecting signs shall align with major building elements such as cornices, string courses, window banding, or vertical changes in material or texture.
- The width of projecting signs shall not exceed 4 feet.
- The spacing between projecting signs shall be 20 feet or greater with the exception that each individual shop shall be allowed at least 1 projecting sign.

#### 2. **Wall Signs**

Wall signs can directly impact the architectural integrity of buildings. With regard to historic structures, insensitive application of wall signs often needlessly covers detailed fascias and/or transom windows, obscuring the original detail and delight of the design. To maintain the traditional scale and character of these signs the following standards and guidelines are ~~recommended~~ shall be observed.

- Wall signs shall be applied to a building's surface only if a sign band area immediately above the awning or window area is clearly defined by the building's architectural elements.
- With regard to historic structures, wall signs shall not cover and/or obscure significant architectural details, building features, or historic signage.
- Wall signs shall align with adjacent signs of similar type on the same building and be of a similar scale.
- Consideration should be given to incorporating a designated area for wall signs or providing an integral sign band in the design of the storefront.

#### 3. **Architectural Canopy and Pole Mounted Canopy Signs**

Architectural canopies, pole mounted canopies, and/or awnings are sheltering and colorful elements differentiating businesses from each other. To maintain the traditional scale and character of these architectural elements, the following standards are ~~recommended~~ shall be observed (see also Section 7.4.A.87, "Awnings and Pole Mounted Canopies").

- Commercial identification on awnings ~~valances~~ shall not exceed ~~the~~ the bottom 25% of the height of the awning area.

- On significant buildings and within the Hollywood Boulevard Commercial and Entertainment District, backlit illuminated awnings are not in keeping with The Secretary of the Interior's Standards and shall be prohibited.
- Use of backlit illuminated awnings is not encouraged throughout the Boulevard District.

**4. Pole Signs**

Freestanding pole signs are not in keeping with the character of the District. The following standard ~~is recommended~~ shall be observed.

- Pole signs shall be prohibited.

**5. Roof/Skyline Signs**

Historically, Hollywood's roof signs have been highly visible elements identifying the District (see Figure 7-35).

To maintain the traditional placement, scale, and character of these signs, the following standards ~~are recommended~~ shall be observed.

- New roof/skyline signs shall be allowed for major building tenants or building identity, at the rate of one roof/skyline sign per building.
- Spacing between roof/skyline signs shall be at least 50 feet.
- Roof/skyline signs shall be set back at least ten feet from property or building lines.
- Roof/skyline signs shall be oriented towards and parallel to the Hollywood Boulevard and ~~be orthogonally oriented to Hollywood's street grid~~. At street corners, the roof/skyline signs may be oriented at a 45 degree angle to the Boulevard District grid.
- Opaque message surfaces shall be prohibited.
- Hollywood's traditional skyline signage was formed by channel letters, neon, and decorative forms hung from open, light gauge, and transparent structural framework. This type of construction is strongly encouraged for the design of new skyline signage.

Currently, Hollywood's traditional skyline signs are not allowed by code and new roof signs would not be permitted.

The following policy ~~is recommended~~ shall be observed by the Agency until such time as an ordinance is passed which permits roof/skyline signs in conformance with this plan.

- The Agency should work with other City departments to facilitate and encourage the development of new roof/skyline signs.

**6. Marquee Signs and Mural Signs**

Per City Code, the City Cultural Affairs Department has jurisdiction over the approval of marquee and mural signs. To encourage the development of creative marquees and murals which reinforce the visual excitement of the District, the following guideline ~~is recommended~~ shall be observed by the Agency.

- The Agency ~~should~~ shall work with the City Cultural Affairs Commission to facilitate and support innovative marquee designs.

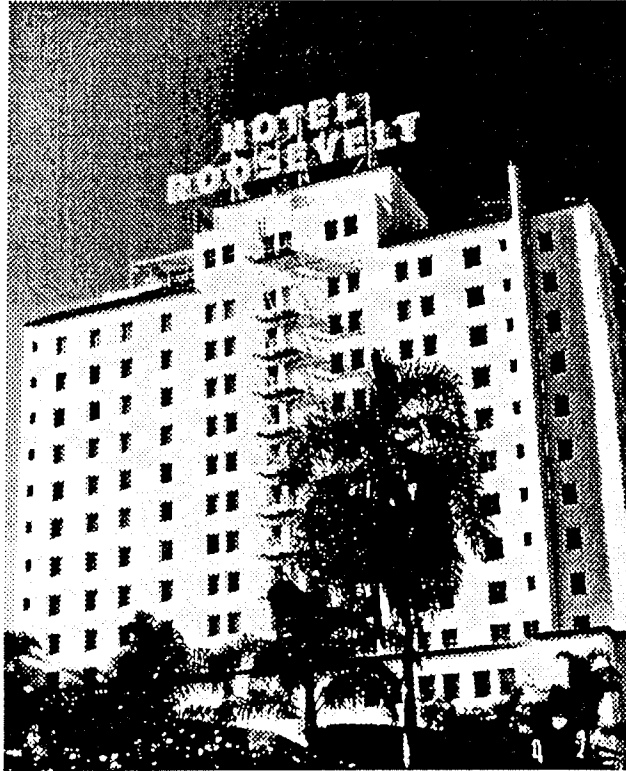


Figure 7-35  
Historically, Hollywood's roof signs, such as the Hotel Roosevelt sign at 7000 Hollywood Boulevard, have been highly visible elements of the skyline. Standards are included to maintain the traditional placement, scale, and character of the District's roof signs.

#### D. Prohibited and Discouraged Sign Types

Given the emphasis on residential development within the Boulevard District and the importance of maintaining the visual integrity of historic structures within the historic District, the following additional standards regarding sign types are recommended shall be observed.

- Off premise signs and billboards shall be prohibited within the Residential Mixed Use and Residential land use areas.
- New billboards incorporated into or adjacent to historic buildings, or within historic districts, shall require Agency approval and shall not obscure or diminish the character of historic buildings or historic districts.
- When rehabilitating significant structures and when designing new signage for structures within the Hollywood Boulevard Commercial and Entertainment District (HBCED), use of signs with plastic fields (can signs, panel signs, plastic projecting signs, etc.) with the exception of individual letters or logos shall be prohibited. Should additional historic districts be created within the Boulevard District, this prohibition should be extended to these additional districts.

#### E. Preservation and Rehabilitation of Historic Signage

Much of Hollywood's history is symbolically recalled by the remaining signage from its golden age. To maintain the link to Hollywood's past and encourage the preservation and reuse of Hollywood's historic signage, both humble and famous, the following standards and guidelines ~~are recommended~~ shall be observed (also see Chapter 4, "Urban Conservation and Cultural Revitalization," Section 4.3.E).

- When signage associated with a significant building has historical and/or cultural value, the signage shall be rehabilitated in accordance with The Secretary of the Interior's Standards. The following guidelines should be considered when rehabilitating and reusing of historic signage is required but conflicts with new proposed uses.
  - Retain historic signage in original location with reduced wattage.
  - Relocate historic signage to an alternative location on the exterior or within the interior of the building.

The following policy ~~is also recommended~~ should also be observed by the Agency.

- ~~With the exception of roof/skyline signs,~~ The Agency should work with other City departments so that the area of significant signs associated with a significant building and rehabilitated in accordance with the standards and guidelines of this Plan should not be counted when determining the allowable area of signage for buildings or businesses.

#### **F. Encouragement of Creative Signs**

Hollywood is creative and businesses, developers, and property owners will propose signs that will not conform to the standards and guidelines of this Plan. With regard to the encouragement of creative signs, ~~the following policy is recommended~~ should be observed by the Agency.

- Creative signage ~~should~~ shall be encouraged and variations from the above standards and guidelines should be considered for approval by the Agency following review and recommendation by the community, provided that the goals and objectives of the Hollywood Redevelopment Plan, this Plan, and this section of the Plan are supported.

#### **G. Public Signage Guidelines**

Directional and informational signage of consistent and legible design is an important component in the perception of an area as a distinct, cohesive, and clearly understood community. The following policy ~~is recommended~~ should be observed by the Agency.

- The Agency should lead City efforts to develop, approve, and implement a public signage program for the District. These improvements should be coordinated with the Hollywood Boulevard improvements and the District Identification Program outlined in Chapter 5, "Open Space," Section 5.3.B and Chapter 4, "Urban Conservation and Cultural Revitalization," Section 4.5.C, respectively.

### **7.8. DESIGN REVIEW**

Upon adoption of this Plan, all projects without an approved tract map in place at adoption will be reviewed by Agency staff for conformance to the standards and guidelines of this ~~e~~Chapter and this Plan. Projects may also be subject to community review and recommendation. For a further discussion of the Design Review Process and other permit review requirements, see Chapter 8, "Design Review and Permit Review Process."

## 7.9 IMPLEMENTATION

The built form policies, standards, and guidelines of this Plan ~~should~~shall be implemented through the adoption of one or more Design(s) for Development and/or City Ordinance(s). For a ~~furthermore complete~~ discussion of ~~the overall implementation process and program~~ see Chapter 9, Implementation of the Hollywood Boulevard District Urban Design Plan Implementation Program.

**TABLE 7-A GLOSSARY OF TERMS USED TO DESCRIBE ARCHITECTURE**

<b>Access Drive:</b> A driveway from a street or highway providing vehicular entrance to a site or parcel	<b>Facade Depth:</b> The quality of depth created on a facade by the articulation of surface breaks where windows are punched into solid masonry or masonry like surfaces, incorporating such elements as sills and ornament to create contrasting areas of light and shadow.
<b>Adjacency:</b> Proximity to another building or parcel, sharing a common border, structure or property line.	<b>Fascia:</b> A flat horizontal member of an order or building, often used in storefront design to carry signage.
<b>Alcove:</b> A nook, niche or recessed opening off of a larger space or room.	<b>Glazing:</b> The installation of glass in an opening or frame.
<b>Art Deco:</b> A popular decorative style of the 1920's and 1930's characterized especially by bold outlines, streamlined and rectilinear forms, and the use of new materials.	<b>Gunitite:</b> Trademark for a mixture of cement, sand and water sprayed on a member or surface, often for seismic upgrading.
<b>Articulation:</b> The act of giving visual expression to design concepts, structure, building systems, and elements which comprise the design of a building.	<b>Height Standard:</b> Height limits.
<b>Awning:</b> A rooflike cover extending over or in front of a place, such as a deck, door or window, as a shelter.	<b>Infill Development:</b> Projects, usually of a small scale, which are proposed for vacant parcels between existing structures.
<b>Balcony:</b> A platform projecting from a wall, enclosed by a railing or balustrade, supported on brackets or columns or cantilevered out.	<b>Land Use:</b> A category, i.e. residential, commercial, industrial, describing the activity allowed on a given parcel of land.
<b>Base:</b> A pedestal supporting a column or colonnade. The lower stories of a building visually unified to form the lower part of a complete architectural design consisting of a base, shaft and capital.	<b>Lintel:</b> A horizontal beam or stone bridging an opening.
<b>Bay:</b> A vertical division of the exterior or interior of a building marked not by walls but by fenestration, an order, buttresses, units of vaulting, roof compartments, etc.	<b>Loggia:</b> A gallery open on one or more sides, sometimes pillared: it may also be a separate structure, usually in a garden.
<b>Building Plane:</b> A surface defining the building envelope, generally referring to the exterior walls of a building.	<b>Mansard:</b> Double sloped roof, the lower slope being longer and steeper than the upper.
<b>Bungalow:</b> A single-story house. From a Bengali/Indian word referring to light dwellings with verandahs constructed initially for the use of British administrators in colonial India.	<b>Market Value:</b> A price at which both buyers and sellers are willing to conduct business, the price outlined in current market transactions.
<b>Canopy:</b> A projection or hood over a door, window, tomb, altar, pulpit, niche etc.	<b>Marquee:</b> A permanent canopy, often of metal and/or glass projecting over an entrance.
<b>Capital:</b> The head or crowning feature of column.	<b>Masonry:</b> A type of construction consisting of stonework or brickwork.
<b>Column:</b> A vertical, supporting member, often circular in plan. In classical architecture, consists of base, shaft and capital.	<b>Massing:</b> Volume and configuration constituting the built form of a structure.
<b>Cornice:</b> Any projecting ornamental moulding along the top of a building, wall, arch etc. finishing or crowning it.	<b>Mechanical Penthouse:</b> Structure at the top of a building which houses mechanical equipment, usually for elevators.
<b>Courtyard Housing:</b> A project consisting of a structure(s) containing multiple units arranged, often symmetrically, around a significant common open space.	<b>Mixed Use:</b> Physical development not restricted to a single use but encouraging a combination of varied uses such as commercial, residential, office uses etc.
<b>Cupola:</b> A dome, especially a small dome on a circular or polygonal base crowning a roof or turret.	<b>Modulation:</b> Regulating according to a predetermined measure or proportion.
<b>Defensible Space:</b> A planning and design concept which recognizes the notion that a resident's sense of proprietorship about his or her own dwelling unit in a multiple unit project influences the security and quality of the project as a whole.	<b>Module:</b> A unit of measurement by which the proportions of a building or part of a building are regulated.
<b>Density:</b> The number of units, or a quantity per unit area.	<b>Mullion:</b> A vertical post or other upright dividing a window or other opening into two or more lights.
<b>Design Review:</b> The process through which the design of buildings, and other physical development are reviewed by various bodies qualified and authorized to do so.	<b>Open Space:</b> Land area left in an unbuilt state. Open space includes plazas; parks; side, front, and back yards; and cemeteries. Usable open space is often available for recreational activities.
<b>District:</b> An area or section of a project area with distinguishing characteristics.	<b>Parcelling:</b> The division of a piece of land into smaller units.
<b>Edge:</b> A line at which an area, building or other physical development begins or ends.	<b>Parking Overlay Zone:</b> An area adjacent to Hollywood Boulevard where the development of public parking structures is encouraged. Within the zone, free standing mixed use parking is encouraged regardless of the underlying land use designation.
<b>Environmental Impact Report:</b> A study and report prepared in compliance with the California Environmental Quality Act. The EIR evaluates the effects of a proposed project on its surroundings, i.e. noise, traffic, sewage, air quality, and historic resources, and identifies measures to mitigate these impacts.	<b>Performance Standards:</b> The characteristics or qualities which a project must fulfill.
<b>Facade:</b> The exterior wall of a building.	<b>Pilaster:</b> A shallow pier or rectangular column projecting slightly from a wall.
	<b>Plan Diagonal:</b> The measurement of the diagonal distance, from outside corner to outside corner of the floor plan of a building.
	<b>Plane:</b> A flat surface either real or imagined that defines the interface between a distinct space or built form and another entity or space.



## TABLE 7-A GLOSSARY OF TERMS USED TO DESCRIBE ARCHITECTURE

- Porches:** The covered entrance to a building; referred to as a portico if columned and pedimented like a temple front.
- Portal:** Entry, also the architectural forms defining the entrance to a station which serves as a designated stop or point of access to the Metro-Rail Line.
- Redevelopment:** Publically initiated revitalization. In the context of Hollywood, redevelopment is a comprehensive effort to eliminate blight and otherwise improve an area through a commitment of public funds and actions. Redevelopment usually entails constructing and rehabilitating housing, improving public facilities, promoting employment opportunities, and encouraging private investment.
- Rehabilitation:** The physical improvement of existing structures through remodeling and repair. Rehabilitation may be funded by private and public sources.
- Renaissance Revival:** An architectural style which includes references to the neoclassical architecture of the Renaissance period.
- Replacement Housing:** Housing constructed or rehabilitated by the Agency to replace housing that is demolished as the result of redevelopment activities.
- Reveal:** The side/edge of an opening between a frame or indent and the exterior of a surface.
- Revitalization:** Any effort made to foster community stability through private or public actions. Revitalization may include industrial, residential, commercial development, and public improvements.
- Rhythm:** A repetition or regular recurrence of elements.
- Scale:** A distinctive size relative to human dimensions or activities.
- Secretary of the Interior's Guidelines:** The standards established by the Department of the Interior in the document titled, "The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings," for advising Federal agencies on the preservation of historic places. They are widely adopted by public agencies as the performance standards required for certain historic rehabilitation projects.
- Setback:** The distance a building face is placed from a property line. Also, that zone between the building and a property line, set by regulation, and within which restrictions to physical development are defined.
- Shaft:** The trunk of a column between the base and capital.
- Shingle Style:** American term for the Domestic Revival style of the 1870/1880's, referring to a style of shingle-clad, medium-sized private house, featuring open internal planning.
- Significant Structures:** Structures defined as being architecturally or historically significant. In the context of the Hollywood Boulevard District Urban Design Plan, this classification includes buildings which are "listed in," "determined to be eligible for," or "appear to be eligible for," or "potentially eligible for" listing in the National Register of Historic Places, either individually or as part of a district.
- Sill:** The lower horizontal part of a window frame.
- Spandrel:** The triangular space between the side of an arch, the horizontal drawn from the level of its apex, and the vertical of its springing. Also refers to the surface between two arches.
- Spandrel Glass:** Opaque glass covering horizontal structural members.
- Spanish Revival:** A vernacular style of architecture incorporating elements of Spanish and Spanish Colonial architecture such as tiled courtyards, stucco construction, decorative metalwork, arcades, and churrigueresque surface decoration.
- Streetwall:** Continuous wall of buildings immediately parallel to sidewalks.
- String Course:** A continuous projecting and usually horizontal band set in the surface of an exterior wall and usually molded.
- Subdistrict:** A sub-area or section with distinguishing characteristics within a district.
- Transom:** A window above a door or other window built on and commonly hinged to a transom bar.
- View Corridor:** A space clear of visual obstruction offering the sight of a distant landmark or scenery.
- Vista:** A distant view through or along an avenue or opening.

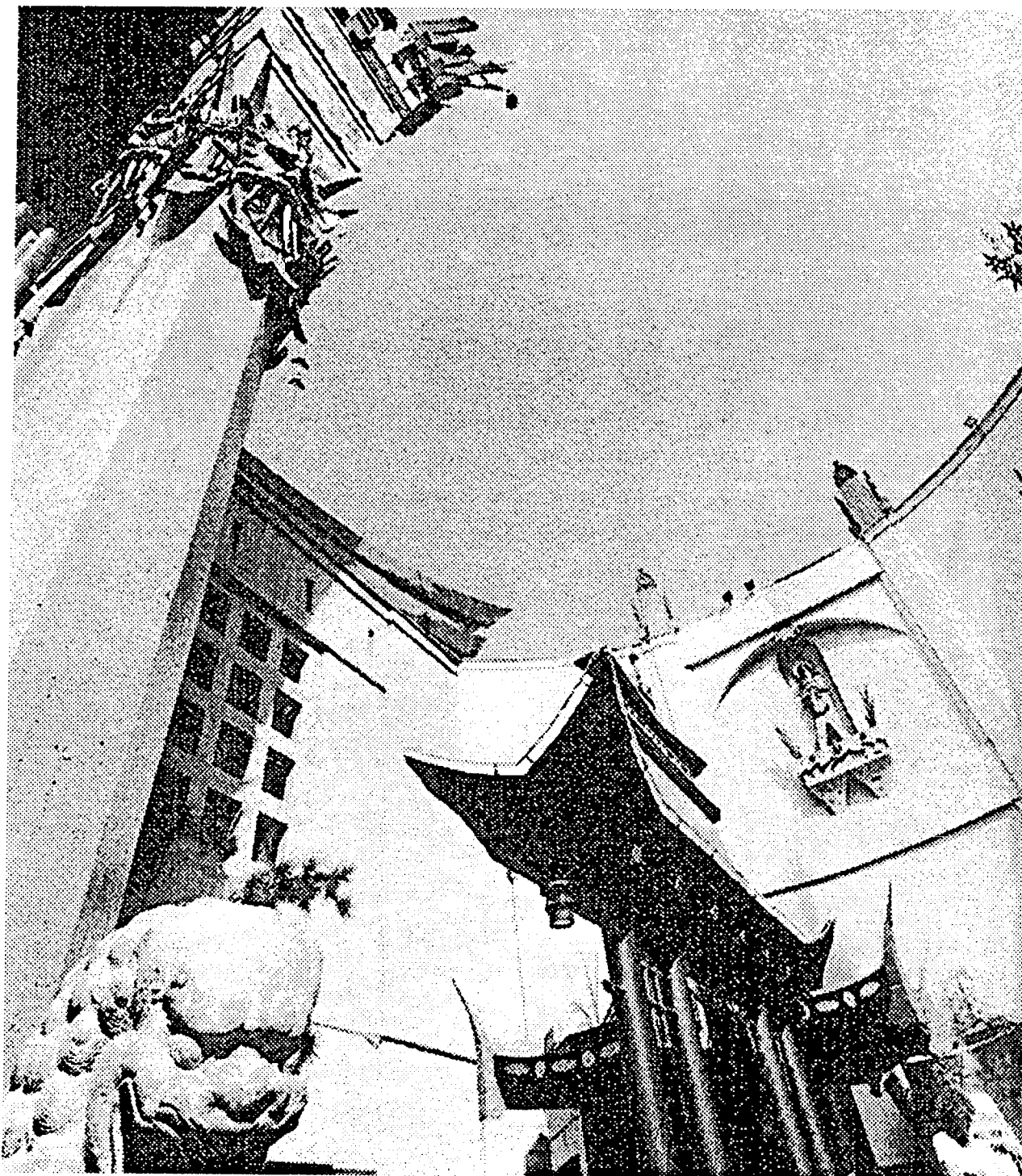


Figure 8-1

Dramatic view of the courtyard  
at Mann's Chinese Theater.

8

## DESIGN REVIEW AND PERMIT REVIEW PROCESS

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## 8.0 DESIGN REVIEW AND PERMIT REVIEW PROCESS

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### OBJECTIVE

*Establish design review and permit review procedures which are timely, consistent, equitable, understandable and which forward the policies, standards, and guidelines of this Plan.*

### 8.1 OVERVIEW

Within the Hollywood Redevelopment Plan area, which includes the Hollywood Boulevard District, the Community Redevelopment Agency is responsible for reviewing building permit applications issued by the City of Los Angeles for conformance with the Hollywood Redevelopment Plan and any adopted design(s) for development. Additionally, within redevelopment areas, the Agency reviews all projects for compliance with the provisions of the California Environmental Quality Act (CEQA).

In order to effectively implement the Hollywood Boulevard District Urban Design Plan (HBD), a consistent design review and permit review process is ~~recommended~~ which needs to encourage conformance to the policies, standards, and guidelines of this Plan while ensuring timely community design review and recommendation to the Agency. This process is summarized in outlined form in Figure 8-2.

To better anticipate review requirements, property owners and developers are encouraged to contact the Agency as early as possible in the design phase of a project.

### 8.2 COMMUNITY DESIGN REVIEW POLICIES AND PROCEDURES

#### A. Community/HCAC/Hollywood Planning and Design Review Committee

To represent the community and advise the Agency on matters regarding redevelopment in Hollywood, the City Council has established a Hollywood Community Advisory Council (HCAC) with members appointed by the Council Office. The Hollywood Community Advisory Council includes a Hollywood Planning and Design Review Committee (HWPDR). To facilitate timely design and planning review of projects which require community design review and recommendation the following policies ~~are recommended~~ should be adopted by the HCAC and as delegated, the HWPDR;

- The HCAC should delegate all required community review regarding planning and design issues to the HWPDR,
- All HWPDR recommendations ~~should~~ shall be forwarded to the HCAC, ~~and which in turn shall forward them to the Agency Board for consideration,~~ and
- To ensure a range of view points, the HWPDR should be composed of a diverse group of community individuals representing the multiplicity of issues covered by this Plan. The following areas/disciplines should be represented;
  - Architecture/Urban Design;
  - Art;
  - Community/Merchant;

- Conservation/Preservation;
- Development/Property Owner;
- Environmental/Graphic Designer; and
- Landscape Architecture.

- All meetings of the HCAC and the HWPDR shall be publicly noticed, open to the public, and conducted in conformance with the Brown Act.

**B. Projects not Requiring Community Design Review**

If a proposed project meets all the requirements of the Redevelopment Plan and this Plan and does not require discretionary Agency action or community review and recommendation as defined in Section C below, and is "categorically exempt" from CEQA requirements, Staff review ~~should~~shall be completed within 10 working days of the submittal of a complete permit package ~~and a permit should be issued.~~

**C. Projects Requiring Community Design Review**

All projects proposed within the boundaries of the Hollywood Boulevard District shall be reviewed for conformance to the policies, standards and guidelines of this Plan as well as the requirements of CEQA by Agency Staff. The scope of projects recommended for community design review and recommendation to the Agency helps ensure a high level of urban design and architectural quality as well as public support of new infill construction and substantial rehabilitation projects. ~~The following projects are recommended for community design review.~~

~~As noted below, two options are presented outlining the recommended scope of projects requiring community review.~~

**Option-A**

Projects which meet any of the following criteria shall require community design review and recommendation to the Agency;

- Require an Agency agreement such as an Owner Participation Agreement (OPA) or a Disposition and Development Agreement (DDA);
- Adversely impact a significant resource as determined by non-compliance with the Secretary of the Interior's Standards; and/or
- Require Agency Board approval as determined by the policies, standards, and guidelines of this Plan, i.e. a height variation allowed by this Plan is requested.

**Option-B**

~~Projects which meet any of the following criteria shall require community design review and recommendation to the Agency.~~

- ~~• Require an Agency agreement such as an Owner Participation Agreement (OPA) or a Disposition and Development Agreement (DDA);~~
- ~~• Include the rehabilitation or demolition of a significant resource;~~

- ~~• Are within the boundaries of the National Register of Historic Places Hollywood Boulevard Commercial and Entertainment District;~~
- ~~• Are greater than 40,000 s.f. or 35 dwelling units in size; and/or~~
- ~~• Require Agency Board approval as determined by the policies, standards and guidelines of this Plan, i.e. a height variation allowed by this Plan is requested.~~

**D. Community Design Review Process**

When a project is subject to community design review as defined by this Plan, developers and/or property owners should consult with Agency Staff as early as possible in the design process in order to help facilitate compliance with the intent of this Plan. The following community design review process ~~is recommended~~ shall be adhered to.

**1. Submission of Project to Agency**

After submission of a complete permit application to the Agency, Agency Staff shall determine within 10 working days if the project requires community design review. If community design review is required, the permit applicant will be notified in writing and by phone that such review is required and of any review requirements.

Community design review shall then be scheduled and occur within 25 working days of the determination of the requirement. If community design review and recommendation is not provided within this period of time and no written staff recommendation is provided to the applicant within 30 working days of determination, the project shall be deemed recommended for approval to the Agency Board.

**2. Community Design Review Presentation Requirements**

A project shall typically be presented at two phases during its design development; the Concept/Schematic phase and the Final Design phase. The following review presentation materials shall be required.

**a. Concept/Schematic Presentation**

The first community presentation of a projects shall typically occur at the Concept/Schematic phase of design. Concept/Schematic design drawings shall include;

- Site and context plans including the proposed project showing surrounding streets and major site features, existing building footprints, view corridors and drawings and/or photographs of surrounding structures;
- Grade level and typical floor plans;
- Key elevations including adjacent structures; and
- One or more site cross sections.

These drawings ~~should be sufficient to~~ shall describe basic building massing, number of floors and height, site plan features, vehicular access,

pedestrian areas, a generalized parking layout, landscape and open space features, and an integrated art plan as required. Major dimensions ~~should~~shall be indicated as ~~should~~shall a rough tabulation of floor area by use.

The relationship of the project to the policies, standards, and guidelines of the HBD ~~should~~shall be denoted by the permit applicant/architect on the drawings or submitted as a separate attachment. The drawings may be executed freehand. One full size and one reduced set (8 1/2" by 11") of drawings shall be required for the concept/schematic community review.

**b. Final Design Presentation**

The second community presentation of a project ~~typically~~shall occur when the Final Design drawings are completed. This should typically be concurrent with the conclusion of the Design Development Phase of design. Final Design drawings are a logical evolution of the Agency approved Concept/Schematic drawings and shall include;

- Site, landscape, and context drawings;
- Plans, elevations showing adjacent buildings, and sections;
- Key details such as wall and window sections;
- Material and color boards; and
- Art Plan as required.

Final Design drawings ~~should~~shall fix and describe all design features as well as the size, character and quality of the entire project in relation to its surroundings. One full size and one reduced set (8 1/2" x 11") of drawings shall be required for final design community review.

**c. Optional Presentation Materials**

Staff may also request at either the Concept/Schematic phase or the Final Design phase, ~~that~~and the permit applicant is encouraged to submit, the following materials to ensure clarity.

- Axonometrics and/or renderings of the project; and/or
- 1:100 model for incorporation in the Agency's Hollywood model.

**3. Community Design Review Presentations**

Community design review presentations shall be one of the following;

- **Concept/Schematic Presentation** - This is typically the first review step;
- **Final Design Presentation** - This is typically the final review step; and
- **Information Only Presentation** - The permit applicant may request a voluntary, "information only," presentation to receive community input. No action by the community or the Agency is required at these presentations.

The following steps shall be followed when a community review presentation is required;

- The community shall receive reductions of presentation materials and a staff report approximately one week in advance of the meeting. Reductions shall not be required for Information Only presentations.
- At the meeting, staff shall present a staff report, introduce the applicant/architect team who shall make a brief presentation and at the request of the community propose a recommended action.

As part of the presentation of the project, the applicant/architect, the community and staff should discuss the following issues;

- Relationship of project to Hollywood's character and context;
- Relationship of project to Hollywood's architecture;
- Relationship of project to Hollywood's landscape and climate; ~~and~~
- Relationship of urban design issues to transportation, traffic and parking issues; and
- Conformance of project to the HBD, Redevelopment Plan and Community Plan.

#### 4. Community Design Review Actions

After discussion, the community shall take action by majority vote as follows;

- **Recommend for Approval** - The community may recommend approval to the Agency Board;
- **Recommend for Approval with Conditions** - The community may recommend approval to the Agency Board and recommend conditions for Agency Board consideration. When a project at the Final Design phase is recommended for approval with conditions to the Agency Board the applicant may;
  - Resubmit the project for further community review and recommendation for approval;
  - Request that the project be forwarded to the Agency Board for approval along with the recommendation for approval with conditions; or
  - Request that the project be forwarded to the Agency Board for approval with no conditions.
- **Recommend for Disapproval** - The community may recommend disapproval to the Agency Board. When a project is recommended for disapproval the applicant may;
  - Resubmit the project for further community review and recommendation; or
  - Request that the project be forwarded to the Agency Board for approval or approval with conditions along with the community recommendation for disapproval.



- **No-Recommendation Abstention** - The community may abstain from making a determination and forward the project to the Agency Board with no recommendation.
- **Table Discussion** - The community may table discussion of the project or table action on the project. ~~If the community tables discussion or action, the community shall schedule the project for action within 15 working days.~~ If no action is taken within 15 working days by the community and ~~no recommendation is forthcoming by staff within 20 working days,~~ the project will be deemed recommended forwarded for approval to the Agency Board with no recommendation from the community.

Additionally the community may waive a ~~second~~ Final Design review.

- **Waive Further Action** - To facilitate the development process for projects which require community review and meet all the policies, standards, and guidelines of this Plan, the community as part of a recommendation to the Agency Board, may recommend waiving the second review step. If the community does not waive further community review, a Final Design presentation shall be required.

All decisions of the Agency Board shall be final.

The following additional policy regarding substantive changes to designs ~~is also recommended~~ shall also be observed by the Agency:

- If at any time during the design and development phase of a project, additional drawings are submitted to the Agency which indicate substantive changes from an Agency approved design or changes occur to the scope of the Project such that it would typically requires community review, community review shall be required.

### 8.3 PERMIT REVIEW PROCESS

The Agency is required to review building permit applications within the Hollywood Redevelopment Project area for conformance to the Redevelopment Plan and the California Environmental Quality Act (CEQA). When a building permit application is submitted to the Agency and accepted as complete, in addition to determining conformance to the Redevelopment Plan and this Plan, a determination ~~should~~ shall be made within 10 days as to the level of environmental review that shall be required. One of the following determinations ~~shall be~~ is typically made.

- **Categorically Exempt** - A project is categorically exempt as determined by Agency policy thresholds which are in conformance with City CEQA guidelines.
- **Negative Declaration** - If a project has no significant environmental impacts as determined by Agency policy, and is not categorically exempt, a public notification of the project is required. When non-significant environmental impacts as determined by Agency and City of Los Angeles policy are proposed as part of the project, mitigation measures in conformance with Agency and City of Los Angeles environmental policy may be imposed.
- ~~Negative Declaration with Mitigation Measures~~ ~~If a project is not categorically exempt and has non-significant environmental impacts that are mitigable, as determined by Agency policy, public notification of the project is required.~~

- **Environmental Impact Report Requirement** - If a project results in significant environmental impacts as determined by Agency policy, an Environmental Impact Report and a public hearing before the Agency shall be required. Significant environmental impacts may include but are not limited to adversely impacting a significant structure, traffic generation which impacts traffic patterns, or the size of a project.

For more information regarding Agency CEQA policy including review time frames, Agency staff should be consulted at the earliest time convenient.

An environmental determination shall be made simultaneously to a community design review determination. In some instances, as mitigation measures are developed as part of the CEQA process, the permit applicant may be required to revise and resubmit plans to the Agency incorporating the mitigation measures. The following policy ~~is recommended~~ regarding plans revised due to mitigation measures shall be observed by the Agency;

- If revised plans substantively different from original plans are submitted to the Agency as part of the environmental review process and community design review was originally required or the scope of the project has changed such that community design review is required, Agency staff shall submit the plans for community design review.

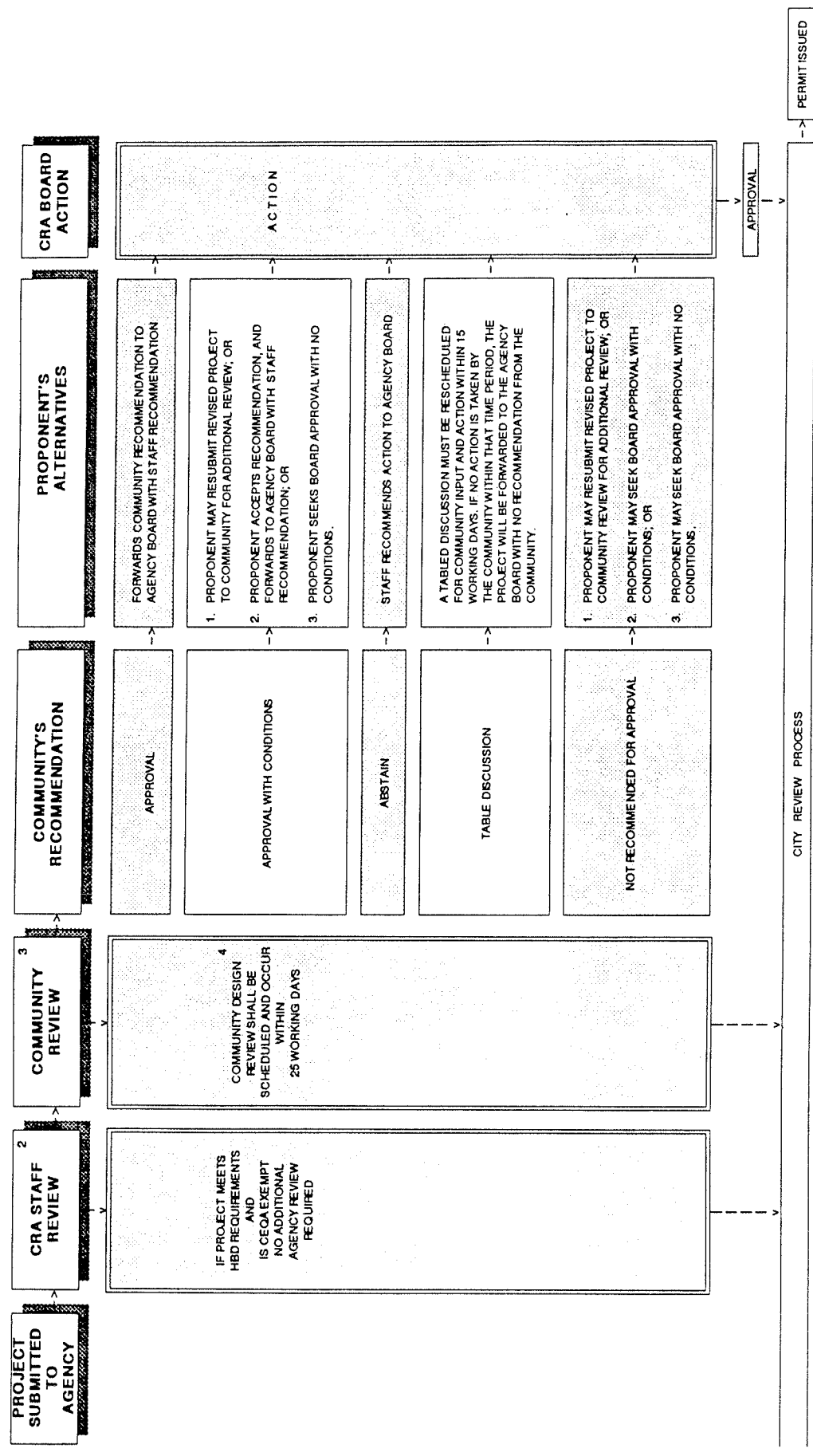
Building permit applications are an excellent tool for monitoring the actual and proposed building activity of the Plan area. In order to ensure that the community's concern for design quality is addressed on an ongoing basis, Agency staff has developed procedures to provide the community with the opportunity to monitor the permit process. With regard to permit monitoring, the following policy shall be observed by the Agency;

- Agency staff shall report to the community on a regular basis regarding all building permit applications.

#### 8.4 IMPLEMENTATION

The recommendations of this Chapter shall be implemented through the adoption of one or more design(s) for development and/or City ordinance(s). For further discussion of this subject see Chapter 9, Implementation the Hollywood Boulevard District Urban Design Plan Implementation Program.

**FIGURE 8-2: DESIGN & PERMIT REVIEW PROCESS**



**FOOTNOTES:**

1. This flow chart is illustrative only. Agency staff should be consulted at the earliest time convenient to determine the time necessary to complete Agency and Community Review Process.
2. Staff determines if project requires Community Design Review (see Section 8.2.C). Staff also determines appropriate level of environmental review based upon the California Environmental Quality Act and CEQA assessment process begins (see Section 8.3). If Community Design Review required, proceed to Community Review. If Community Review is NOT required, staff review should be completed within 10 working days (see Section 8.2.B).
3. Community Design Review occurs at the Concept/Schematic & Final Design phases of a project (see Section 8.2.D.2). The community may waive, however, the Final Design presentation and review. An "Information Only" review, requiring no action by the community, may occur at any phase of a project, and is encouraged to ensure community input early in a project's development.
4. If Community Design Review and recommendation is not provided within this period of time and no written staff recommendation is provided to the applicant within 30 working days of the determination of the Community Design Review requirement, the project shall be deemed recommended for approval to the Agency Board.

# HOLLYWOOD BOULEVARD DISTRICT URBAN DESIGN PLAN INDEX

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**PLEASE NOTE:**

**CHAPTER 9, IMPLEMENTATION  
HAS BEEN SUPERCEDED BY THE DOCUMENT  
"HOLLYWOOD BOULEVARD DISTRICT URBAN DESIGN PLAN  
IMPLEMENTATION PROGRAM"**

## CHAPTER 9.0-----IMPLEMENTATION

---

### OBJECTIVE

*Establish a program for the effective implementation, prioritization and funding of the recommendations, policies, standards and guidelines of the Hollywood Boulevard District Urban Design Plan.*

### 9.1-----OVERVIEW

Table 9-A, "Implementation, Estimated Costs and Potential Funding Sources" delineates the recommendations of this Plan, estimates total hard costs to realize proposed physical improvements in 1990 dollars, and outlines potential funding sources. To realize the Boulevard Plan, this Chapter outlines a five step implementation program (see Table 9-B) which includes;

- ----- Step I ----- Adopt the Plan as a Design(s) for Development and City Ordinance(s)/Outreach/Coordinate;
- ----- Step II ----- Establish Permanent Hollywood Boulevard District Redevelopment Work Objectives;
- ----- Step III ----- Establish Five Year Phase I Hollywood Boulevard District Work Program;
- ----- Step IV ----- Monitor the Plan; and
- ----- Step V ----- Phase II Work Program;

In addition to the Boulevard District Plan, the Agency is developing parallel social needs, housing, and transportation plans for Hollywood which include complimentary revitalization objectives and identify various funding sources for their realization. The programs and funding sources identified in these plans, when combined with the recommendation priorities of the Boulevard Plan, create a comprehensive revitalization strategy for the Redevelopment Area and the Boulevard District.

Tax increment funds are expected to be a major source of revenue helping to underwrite the \$85,000,000 of improvements called for by this Plan. However, tax increment generation is dependent upon successful revitalization and development beginning in Hollywood. Towards this end, a five-year Phase I program is proposed to realize an immediate and positive impact on the visual character, identity, uses and management of the Boulevard, thereby providing one of the seeds for Hollywood's balanced resurgence.

### 9.2-----IMPLEMENTATION STEPS

A five step implementation program is recommended as follows:

A. ----- Step I ----- Adopt the Plan as a Design(s) for Development and City Ordinance(s)/Outreach/Coordinate

1. ----- Adopt Design(s) for Development

The following policy is recommended.

~~The Agency should adopt this Plan as a Design(s) for Development. Adoption as a Design(s) for Development will;~~

~~mandate that all new construction and rehabilitation projects within the District be in conformance with the Boulevard Plan;~~

~~establish permanent Hollywood Boulevard District work objectives which should be funded by the Agency;~~

~~establish a consistent permit and community design review process for projects within the District; and~~

~~set a policy framework shaping the Agency's and the City's urban design revitalization efforts and priorities within the District~~

~~As authorized by Hollywood Redevelopment Plan Section 506.2.1, an urban design plan for the District may be adopted by the Agency as one or more Design(s) for Development. Section 501 of the Redevelopment Plan also requires the Agency to submit the proposed Design(s) for Development to the Los Angeles City Planning Commission for its review and recommendation prior to adoption by the Agency.~~

~~Upon adoption by the Agency, this Plan will supplement the existing City of Los Angeles Zoning Code; in the event of conflicting requirements, the more stringent requirement shall prevail.~~

## ~~2. Provide Public Outreach and Coordination Program~~

~~The following policies are recommended:~~

~~Publish and disseminate the Plan, review requirements as standard permit application materials to all property owners within the District, prospective developers and appropriate City Departments.~~

~~Ensure that early notice of Plan requirements are provided at the City Departments of Planning and Building and Safety as part of initial zoning and plan check processes.~~

~~Facilitate the establishment of a City interdepartmental task force to expedite Boulevard District issues as they arise.~~

## ~~3. Adopt City Ordinance(s)~~

~~The following policies are recommended:~~

~~Following recommendation of the Plan by the City Planning Commission and adoption by the Agency of a Design(s) for Development one or more City Ordinance(s) based on the Plan's guidelines and standards should be drafted with Agency assistance for adoption by the City Council to provide consistency between the Hollywood Boulevard Plan, Community Plan and Zoning Plan.~~

~~In certain instances the Boulevard Plan does propose land uses, flexible built form standards and other guideline recommendations which are more flexible or in conflict with those in the City Zoning Plan. The HBD,~~



~~the City Zoning Plan and the Community Plan should be brought into conformance with each other. Conformance issues include but are not limited to;~~

~~-----Encouragement of entertainment production uses in the Commercial Mixed Use designation (see Chapter 3, Land Use and Density, Section 3.2.B.);~~

~~-----Parking reduction/waiver for Neighborhood Commercial Uses (see Chapter 3, Land Use and Density, Section 3.2.C)~~

~~-----Parking reduction/waiver for rehabilitated significant structures (see Chapter 4, Urban Conservation And Cultural Revitalization, Section 4.3.J);~~

~~-----Proposed Hollywood Boulevard Improvement guidelines (see Chapter 5, Open Space, Section 5.3.B);~~

~~-----Proposed street tree spacing guidelines (see Chapter 5, Open Space, Section 5.3.A); and~~

~~-----45-Foot Height Standard Plus 30-Foot Variation (see Chapter 7, Built Form, Section 7.3.A).~~

~~-----Until consistency between all planning documents is achieved, the Agency should support property owners and developers who seek variances from existing city standards which are more restrictive than the provisions, guidelines and standards of the Boulevard Plan.~~

#### ~~4.-----Coordinate HBD Plan Recommendations with City Capital Improvements Program (C.I.P.)~~

~~The following policy is recommended:~~

~~-----As part of the Community Plan Revision process, the City's C.I.P. is updated. The street and sidewalk improvements as well as the street tree improvements called for by this plan should be coordinated with the C.I.P. as it is revised.~~

#### ~~B.-----Step II ----- Establish Permanent Hollywood Boulevard District Redevelopment Work Objectives~~

~~The Agency implements its programs through the establishment of redevelopment work objectives, which are funded on an annual basis. To ensure that objectives outlined in the Boulevard Plan are considered by the Redevelopment Agency on a yearly basis as part of the budget review process, this Plan recommends that five permanent work program objectives be established as part of the Hollywood Redevelopment Work Program.~~

~~The following permanent work objectives are recommended:~~

##### ~~1.-----"Hollywood Boulevard District Implementation" Objective~~

~~This objective should provide for staffing, community and developer outreach, and programs to implement the standards, guidelines, objectives and mechanisms called for by this Plan. The components of this Plan not covered by other~~

~~Hollywood Boulevard District work objectives described below should also be considered as part of this objective. Activities covered by this objective should include;~~

- ~~----- Agency Staffing for implementation of ordinances, plan programs, planning and design review, TFAR valuation task force (see Chapter 4, Urban Conservation, Section 4.3.J) and plan monitoring;~~
- ~~----- Outreach programs and materials;~~
- ~~----- Coordination with other City Departments; and~~
- ~~----- Support for a Hollywood Boulevard Association.~~

**2.-----"Hollywood Boulevard Improvements" Objective**

~~This objective should provide for consideration of the physical improvements proposed for Hollywood Boulevard (see Chapter 5, Open Space, Section 5.3.B). These include;~~

- ~~----- Development of specific design specifications for Hollywood Boulevard;~~
- ~~----- Hollywood Boulevard street tree and landscape improvements;~~
- ~~----- Sidewalk widenings from La Brea Avenue to Gower Street along Hollywood Boulevard; and~~
- ~~----- Additional sidewalk improvements along the Boulevard such as lighting, crosswalks and Street Furniture.~~

**3.-----"Hollywood Open Space" Objective**

~~This objective should provide for the development of the open space needs of the District (see Chapter 5, Open Space, Section 5.4). These specifically include;~~

- ~~----- Acquisition and development of public parks.~~

**4.-----"Hollywood Street Tree Improvements" Objective**

~~This objective provides for the consideration of the development of street tree planting standards and street tree improvements throughout the Boulevard District with the exception of the Boulevard itself (see Chapter 5, Open Space, Section 5.3.A). These include;~~

- ~~----- Development of specific tree selection, landscape and maintenance specifications;~~
- ~~----- Street tree planting programs; and~~
- ~~----- Highland Avenue and Vine Street street tree and sidewalk improvements.~~

## ~~5. "Hollywood Urban Conservation" Objective~~

~~This objective provides for consideration of projects and programs which include the rehabilitation or restoration of significant buildings (see Chapter 4, Urban Conservation and Cultural Revitalization, Section 4.3.J). These include;~~

- ~~----- Low cost loans to property owners and/or tenants for the rehabilitation of significant structures;~~
- ~~----- Grants to property owners or tenants for the rehabilitation of significant structures; and~~
- ~~----- The purchase of density rights from property owners who rehabilitate significant structures.~~

~~Recommended funding for these objectives is discussed as part of implementation Steps III and IV below.~~

## ~~G. Step III - Establish Five Year Phase I Hollywood Boulevard District Work Program~~

~~Upon adoption of this Plan as a Design(s) for Development, a recommended Phase I program of pilot projects and objectives prioritizes efforts in the Main Street District, Boulevard North and Boulevard South during the five years after adoption. The goal of prioritizing improvements in these areas is to realize an immediate and positive impact on the visual character, identity, uses and management of the District which will provide the seed for further incremental revitalization.~~

~~Most of the recommended Phase I program can be implemented through the work objectives described in Step II, above. Table 9-A identifies a range of potential sources to fund these work objectives including but not limited to GRA tax increment funds, C.I.P. funds and public benefit funds realized through transfers of density. The total estimated cost of the recommended Phase I program is approximately \$15,000,000 in 1990 dollars. Recommended programs are classified by work objective.~~

### ~~1. Hollywood Boulevard District Implementation~~

~~The following programs are recommended:~~

- ~~----- Encourage merchant and community participation in the promotion and management of the Boulevard District through support for the establishment of a fiscally independent, professionally staffed Hollywood Boulevard Association. This group should organize community based strategies and long term funding to deal with the following concerns;~~
  - ~~----- boulevard security;~~
  - ~~----- maintenance of boulevard sidewalks and improvements;~~
  - ~~----- parking management and validation;~~
  - ~~----- mitigation program for metro rail construction;~~
  - ~~----- promotion of the district; and~~
  - ~~----- event creation.~~

~~Support the realization of this Plan's long-term goals and objectives by ensuring the availability of staff to attend to the details of everyday implementation.~~

~~To realize this objective, the Agency should allocate \$50,000 per year or \$250,000 during the Phase I Work Program to support the establishment of a Hollywood Boulevard Association.~~

## ~~2. Hollywood Boulevard Improvements~~

~~The following programs are recommended:~~

~~Develop and adopt specific sidewalk and street design specifications for Hollywood Boulevard based upon the standards of this Plan.~~

~~Send a strong signal to the community and others that Hollywood Boulevard's block-by-block revitalization is underway by facilitating the sidewalk reconstruction of four block faces along Hollywood Boulevard. The following criteria(s) should be used when selecting Boulevard blocks for reconstruction:~~

~~The blocks should be contiguous;~~

~~The blocks should be within the Main Street District and should be contiguous to improvements planned as part of the Metro Rail construction project; and~~

~~To the maximum extent feasible, the blocks should be adjacent to other revitalization projects such as rehabilitated significant structures, scattered site parking structures providing parking space for historic buildings and/or neighborhood retail, and the proposed Community Market Plaza.~~

~~To realize this objective the Agency should allocate \$50,000 for the development of design specifications for the entire Boulevard, \$100,000 for initial surveys and \$220,000 for documents related to the construction of the first four blocks faces. The estimated hard cost in 1990 dollars for reconstructing four blocks faces of Hollywood Boulevard is \$2,330,000.~~

## ~~2. Hollywood Open Space~~

~~The following program is recommended:~~

~~Reinforce the development of residential neighborhoods in the Boulevard District by facilitating the acquisition, design and development of one neighborhood park (see Chapter 5, Open Space, Section 5.4.A). The following criteria(s) should be used when selecting the location of the park:~~

~~The park should be within Boulevard South;~~

~~-----~~ The park should reinforce the livability of existing and planned multi-family residential buildings; and

~~-----~~ The park should be geographically centered in Boulevard South.

~~The estimated hard cost of the acquisition, design and development of a neighborhood park is \$1,900,000 in 1990 dollars.~~

#### ~~4.-----~~ **Hollywood Street Trees**

~~The following programs are recommended:~~

~~-----~~ Plant street trees throughout the Boulevard District based upon the standards of this Plan. The following criteria(s) should be used when prioritizing street tree plantings:

~~-----~~ Residential streets within Boulevard North and Boulevard South should be planted first; and

~~-----~~ Equal consideration should be given to gateway tree plantings at Hollywood Boulevard's intersections with Highland Avenue and Vine Street.

~~-----~~ Establish a street tree maintenance program for the District.

~~To realize this objective the Agency should allocate \$50,000 for the development of Boulevard District street tree and sidewalk specifications as well as the development of a maintenance program. The planting of trees throughout the Boulevard District during the Phase I program is estimated to cost \$280,000 per year or \$1,400,000 in 1990 dollars over five years. This does not include trees planted as part of the improvement program along Hollywood Boulevard or the cost of maintenance for the first three years as recommended by Chapter 5, Open Space, Section 5.3.A.~~

#### ~~5.-----~~ **Hollywood Urban Conservation**

~~The following program is recommended:~~

~~-----~~ Facilitate the rehabilitation of significant structures (see Chapter 4, Urban Conservation and Cultural Revitalization, Section 4.3.J). The following criteria(s) should be used when prioritizing urban conservation projects;

~~-----~~ Rehabilitation projects which include contiguous significant structures in the Main Street District should be prioritized;

~~-----~~ Rehabilitation projects which reinforce the historic identity of Hollywood Boulevard should be prioritized;

~~-----~~ Rehabilitation projects including an affordable housing component should be prioritized; and

~~Rehabilitation projects which incorporate encouraged uses as outlined in Chapter 3, Land Use and Density should be prioritized.~~

~~To realize this objective the Agency should allocate \$500,000 a year towards urban conservation in the Boulevard District or \$2,500,000 over five years.~~

#### ~~6. Other Phase I Recommendations~~

~~To quickly establish a positive tenor and pace for revitalization in the Boulevard District during the first three years of the Phase I Work Program, consideration should also be given to prioritizing the following objectives:~~

~~Facilitate the development of affordable housing over public parking on an existing surface parking lot in the Main Street District;~~

~~Allocate \$1,000,000 per year for the development of housing incentive units in Boulevard North and Boulevard South;~~

~~Distribute a Request for Proposals and facilitate the establishment of a Hollywood Farmer's Market;~~

~~Facilitate the development of a well designed and landscaped surface public parking lot;~~

~~Distribute a Request for Proposals for the development of the Community Market Plaza (see Chapter 5, Open Space, Section 5.5.); and~~

~~Allocate \$500,000 for the development of public signage, a District Identification Program and a self-guided tour (see Chapter 7, Built Form, Section 7.7.G and Chapter 4, Urban Conservation and Cultural Revitalization, Section 4.5.C).~~

~~The Hollywood Transportation Plan also includes a program of phased transportation improvements. Hollywood Transportation Plan, Chapter 3, "Roadway Improvement Component" should be consulted for a description of this program. Financing of other Hollywood Transportation Plan improvements, which contribute to the revitalization of the District such as parking are discussed in HTP Chapter 9, Financing and Implementation Plan.~~

#### ~~D. Step IV - Monitor the Plan~~

~~The following policy is recommended:~~

~~The Plan should be monitored to ensure that its provisions are working as intended, that progress towards implementation of Plan goals is being realized, and that the provisions of the Plan remain applicable to an evolving District. The Agency should prepare a report outlining implementation and development activities and issues within the District annually until the effective use of the Plan has expired. This report should be presented to the community for review and recommendation and forwarded to the Agency Board for consideration.~~

~~The review should include;~~

- ~~----- Summary of permit activity incorporating analysis of approved permits including number of square feet approved and/or demolished, residential units approved and/or demolished, and significant structures rehabilitated and/or demolished. Residential units designated for low and moderate income tenants or otherwise representing a special Agency consideration or subsidy should be highlighted.~~
- ~~----- Review of all ongoing or pending Agency assisted projects within the District.~~
- ~~----- Review of implementation work program and Plan implementation efforts.~~
- ~~----- Review and analysis of effectiveness of Plan guidelines and standards with recommendations for adjustment as appropriate.~~
- ~~----- Analysis of transportation impacts as provided for the findings of the Hollywood Transportation Plan annual report as outlined in Hollywood Transportation Plan Chapter 9, "Financing and Implementation Plan", Section 9.3.D.~~

**E. ~~-----~~ Step V - Establish Phase II Work Program**

~~The Phase II Work Program should be prioritized in consultation with the community as part of the establishment of the annual Redevelopment Work Program. The Phase II program includes the following recommended programs (all costs are in 1990 dollars).~~

- ~~----- Continued funding of Hollywood urban conservation programs at a recommended minimum funding level of \$500,000 per year (see Chapter 4, Urban Conservation, Section 4.3.J);~~
- ~~----- Hollywood Boulevard Improvements - the estimated cost of reconstruction of 14 blocks of Hollywood Boulevard \$19,740,000. This cost will most likely be funded through a combination of tax increment funds, developer contributions, the City C.I.P. program, and Metro Rail construction funds (see Chapter 5, Open Space, Section 5.3.B);~~
- ~~----- A neighborhood park north of the Boulevard at \$1,900,000 (see Chapter 5, Open Space, Section 5.4.A);~~
- ~~----- \$1,000,000 per year for the development of additional housing incentive units;~~
- ~~----- Two street parks (see Chapter 5, Open Space, Section 5.4.B) at \$2,150,000.~~
- ~~----- The development of a Community Market Plaza including public parking at \$21,000,000 (see Chapter 5, Open Space, Section 5.5). To realize this objective, some form of Agency subsidy is assumed.~~

~~The Phase II Work program includes a variety of physical improvements which build upon and expand the concentrated efforts outlined for Phase I. As outlined in Table 9-A, the estimated hard cost of all the recommended Phase I and Phase II programs are estimated to cost in excess of 80 million dollars. While a variety of funding sources are identified in this table, this Plan assumes that a substantial portion of the proposed improvements will be funded through tax increment funds. This type of funding is realized and dependent upon the tax base increasing due to new development, rehabilitation and other private investments in Hollywood.~~

In addition to tax increment funds, other potential sources of program funding delineated in Table 9-A include but are not limited to;

~~-----~~ **City of Los Angeles CDD/H.E.R.E. Funds:** ~~-----~~ The Hollywood Economic Revitalization Effort contributes staff and funding to Hollywood's improvement. The Community Development Department funds local improvement programs with Federal block grant funds.

~~-----~~ **City and State Capital Improvement Program Funds:** ~~-----~~ As discussed in Section 9.2.A.4 of this Chapter, the improvements recommended by this Plan should be coordinated through these City and State programs.

~~-----~~ **Land Use Incentives:** ~~-----~~ The land use incentives of this Plan include bonus densities, for affordable and market rate housing, encouraged land uses, open space, live entertainment uses and urban conservation. Additionally, transfer of density provisions and recommended parking waivers are included.

~~-----~~ **Assessment Districts:** ~~-----~~ Assessment districts could fund or support a variety of proposed District programs and improvements including Boulevard improvements, street tree maintenance and the Hollywood Boulevard Association.

~~-----~~ **Other Funds:** ~~-----~~ Other funds which could support the improvements recommended by this Plan include private foundation support, corporate support, parking meter funds, other City general funds and of course, private investment.

#### **9.4 ----- Variations**

Section 521 of the Hollywood Redevelopment Plan allows the Agency to authorize variations from the limits, restrictions and controls established by the Redevelopment Plan. As an adopted Design(s) for Development, the Hollywood Boulevard District Urban Design Plan will establish limits, restrictions and controls as part of the Redevelopment Plan. In order to permit a variation from the HBD, the Agency must determine that the variation provisions of the Redevelopment Plan have been met.

#### **9.5 ----- INTERFACE WITH OTHER REDEVELOPMENT PROJECT PLANS**

The Hollywood Boulevard District Urban Design Plan is complemented and reinforced by the goals, objectives, policies and programs identified in the Draft Hollywood Transportation Plan and other Redevelopment Plan requirements as follows;

~~-----~~ The Draft Hollywood Transportation Plan outlines a series of strategies, implementation tools and \$137,000,000 of proposed improvements to accommodate the mobility and parking demands of the Hollywood Redevelopment Area over the next 20 years (see Chapter 6, Transportation and Parking).

~~-----~~ The Hollywood Redevelopment Plan mandates that significant funding be provided for the development of social needs programs and affordable housing in the Redevelopment Area.

~~-----~~ State Redevelopment Law requires that a minimum of 20% of the realized tax increment be spent on affordable housing.



~~Redevelopment Plan Section 412 requires that a minimum of 10% of the available tax increment be spent to address the social needs of the community. The Agency has been working with the community to develop a Hollywood Social Needs Program. A Hollywood Social Needs Plan was recommended to the Agency by the Hollywood Community Advisory Council in the Spring of 1990.~~

~~Together these plans, the result of extensive community input, outline a policy and implementation framework for encouraging, guiding and funding responsible and balanced development and improvements within the Hollywood Boulevard District and the Hollywood Redevelopment Project Area.~~