

CRA/LA, A DESIGNATED LOCAL AUTHORITY
(Successor Agency to the Community Redevelopment Agency of the City of Los Angeles, CA)

M E M O R A N D U M

3

DATE: NOVEMBER 3, 2016

TO: GOVERNING BOARD

FROM: STEVE VALENZUELA, CHIEF EXECUTIVE OFFICER

STAFF: BARRON MCCOY, CHIEF OPERATING OFFICER
NEELURA BELL, SPECIAL PROJECTS OFFICER

SUBJECT: **REPLACEMENT HOUSING PLAN – MORRISON HOTEL.** Approval of a Replacement Housing Plan for the Morrison Hotel located at 1246 Hope Street in the City Center Project Area.

RECOMMENDATION

That the Governing Board approve the Replacement Housing Plan for the Morrison Hotel, pursuant to the Wiggins Settlement Agreement and Development Guidelines and Controls for Residential Hotels in the City Center and Central Industrial Redevelopment Project Areas (the “Guidelines”).

SUMMARY

The recommended action will facilitate the proposed conversion of the Morrison Hotel, an 111-unit residential hotel, into an 80-unit traditional hotel. The hotel has been vacant since 2008. The proposed project will result in the elimination of 111 affordable units. The Guidelines and the Wiggins Settlement Agreement stipulate that prior to the clearance of a permit by CRA/LA the Developer is required to provide Replacement Units. The Guidelines provide various options to comply with the replacement units requirements, including constructing Replacement Units on site; constructing Replacement Units off site; purchasing affordability covenants; or paying an in-lieu fee.

The Developer’s Replacement Housing Plan (“Plan”) proposes two options for providing Replacement Units. Option A entails the Developer paying an in-lieu fee that is equal to the cost of site acquisition plus eighty percent (80%) of the cost of construction of the Replacement Units. The Plan describes the process that will be used to determine the in-lieu payment. Option B entails the Developer replacing 111 affordable units off-site. This option includes the Developer forming a joint venture or contracting with a non-profit affordable housing developer, Skid Row Housing Trust, and providing gap financing of no less than \$8,000,000. The Developer’s Plan is consistent with the Guidelines and staff recommends its approval.

PROJECT REPLACEMENT HOUSING PLAN

Hollywood International Regional Center, LLC (“Developer”) is in the process of acquiring the 111-unit Morrison Residential Hotel (“Morrison”) and converting it into a traditional hotel. The

Morrison's current configuration includes 90 single room units with a shared bathroom for every two units, and 21 units served with common bathrooms. The converted hotel will contain approximately 80 guest rooms, ground-floor retail, and ground-floor hotel amenities such as, but not limited to, a dining area, restaurant, lounge, or fitness area. None of the guest rooms will be for sale or long-term occupancy. Construction of the hotel is anticipated to start as soon as possible, but no later than 2017.

The Guidelines stipulate that no permit for Demolition, Rehabilitation or Conversion of a Residential Hotel Unit(s) will be approved by CRA/LA, unless: the proposed new use is an Affordable Housing Project with recorded affordability covenants for not less than 55 years; or the Residential Units are replaced on a one-for-one basis pursuant to the methods set forth in the Guidelines; and a Replacement Housing Plan is approved by CRA/LA's Governing Board. The Developer is proposing to meet the replacement obligation either by making an in-lieu payment or by constructing or causing to be constructed the 111 Replacement Units off-site. The Replacement Housing Plan prepared by the Developer describes the process to be undertaken and conditions to be met for each of the options to achieve compliance with the Guidelines.

- Option A outlines the process for determining the acquisition and development costs that will comprise the amount of the in-lieu payment. The acquisition cost will be based on an appraisal to be performed by an appraiser hired by CRA/LA and given mutually agreed upon appraisal instructions from both parties. To determine the development costs, the Developer will provide CRA/LA with an initial estimate, and CRA/LA will subsequently verify the validity of the estimate. Upon the developer's payment of the in-lieu payment, based on the acquisition appraisal and development cost estimate, CRA/LA staff will clear the permit for the conversion of the Morrison Hotel. The Developer will pay for both the appraisal and the development costs verification costs. The in-lieu payment will be determined and made within six (6) months of approval of the Plan.
- Option B satisfies the obligation by the Developer forming a joint venture or contracting with Skid Row Housing Trust to construct the 111 Replacement Units off-site at 401 E. 7th Street, which is within the applicable boundaries in the Guidelines. The 111 replacement units shall be covenanted as affordable for not less than 55 years at AMIs between 20% and 50%, with the average being 36.9%. The Developer's participation in the joint venture will include providing gap financing of at least \$8,000,000. Prior to CRA/LA's clearance of a demolition permit for the Morrison Project, the site for the Replacement Units shall have been acquired, entitlements obtained, affordable covenants recorded, and all other project financing committed. If construction of the Replacement Units is not started within 24 months of the clearance of the permit for the Morrison Hotel, the Developer will be required to make the in-lieu payment.

In its review of the Plan, CRA/LA staff has concluded that the Plan satisfies the provisions of the Guidelines, and recommends approval of the Plan by the Governing Board.

Per the Settlement Agreement, the Wiggins Plaintiff's representatives were provided copies of the Plan and 10 days notice, in writing, of the scheduled Governing Board meeting.

SOURCE OF FUNDS

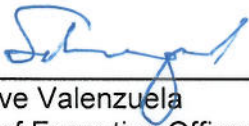
No funding is required for this action.

ROPS AND ADMINISTRATIVE BUDGET IMPACT

There is no impact on the Successor Agency's administrative budget.

ENVIRONMENTAL REVIEW

The recommended actions do not constitute the approval of a "project" for purpose of the California Environmental Quality Act ("CEQA").



Steve Valenzuela
Chief Executive Officer

There is no conflict of interest known to me which exists with regard to any CRA/LA officer or employee concerning this action.

ATTACHMENT A: Replacement Housing Plan

UNIFIED REPLACEMENT HOUSING PLAN
1246 S. Hope Street, Los Angeles, California

This Unified Replacement Housing Plan (the "Plan") sets forth the obligations of Hollywood International Regional Center LLC, a Delaware limited liability company (together with its successors and assigns, the "Buyer"), in its provision of a Replacement Housing Plan based upon discussions and correspondences with the CRA/LA, a Designated Local Authority ("CRA/LA), and successor to The Community Redevelopment Agency of the City of Los Angeles, and the City of Los Angeles ("City") Housing and Community Investment Department ("HCID") and in satisfaction of (1) the Development Guidelines and Controls for Residential Hotels in the City Center and Central Industrial Redevelopment Project Areas (the "Guidelines"); (2) the Wiggins Settlement Agreement (the "Settlement"); and (3) City Ordinance No. 180,175: the Single Room Occupancy Ordinance (the "Ordinance") with respect to the proposed conversion of the vacant, 111-unit Residential Hotel located at 1246 South Hope Street, Los Angeles, California (the "Property") into a traditional hotel (the "Hotel"). This Plan is written in accordance with Section IV.B and VII of the Guidelines; Section 2.A-2.c. of the Settlement; and, Section 47.79 of the Ordinance. Capitalized terms not otherwise defined herein shall have the meaning ascribed thereto in the Guidelines.

As a condition precedent to the issuance of a building permit for the demolition, rehabilitation, or conversion of the Residential Hotel Units located on the Property, the Buyer is required to provide Replacement Units ("Replacement Units") as defined in Section III of the Guidelines; Section 1 of the Settlement; and, Section 47.73-D of the Ordinance; and, in accordance with Section IV of the Guidelines; Section 2.A-2 of the Settlement; and, Section 47.78 of the Ordinance. The Guidelines, Settlement, and Ordinance provide several options for a private owner to satisfy its Replacement Unit obligation. These include the following: constructing Replacement Units on-site; constructing Replacement Units off-site; purchasing affordability covenants; or, paying an in-lieu fee. This Plan outlines the terms and conditions of Buyer's compliance with such requirements through two options and by complying with this Plan Buyer will have satisfied the requirements of the Design Guidelines for purposes of CRA/LA clearing a building permit for the Hotel.

- A. *Description of Proposed Conversion.* The proposed work is to convert the existing vacant, 111-unit Residential Hotel into a traditional hotel. The Hotel will contain approximately 80 guest rooms, ground-floor retail, and ground-floor hotel amenities such as, but not limited to, a dining area, restaurant, lounge, or fitness area. None of the guest rooms will be for sale or rent. Construction of the Hotel is anticipated to start as soon as possible, but no later than 2017.
- B. *Total Number of Existing Residential Hotel Units.* As indicated in the Guidelines Attachment A, the Residential Hotel contains one-hundred and eleven (111) vacant units.
- C. *Bedroom Composition of the Existing Residential Hotel Units.* At the time of operation, the units were an apartment house¹ configured as single units with a shared bathroom for every two units for 90 units; and, the remaining 21 units served with common bathrooms.

¹ Please see Appendix A: Certificate of Occupancy.

- D. *Displacement of Residential Hotel Occupants.* The Residential Hotel has been vacant and unoccupied since 2008. As such, a Relocation Assistance Plan per Guidelines Section VIII, Ordinance Section 47.80, and Agreement Section 3 is not required.

I. OPTION A: PAYMENT OF IN-LIEU FEE

This Plan would provide Replacement Units under Guidelines Section VII-D, Ordinance Section 47.79-A.2, and Settlement Section 2.A-2.c(4), which permit a private owner to meet its replacement housing obligation by paying an in-lieu fee that is at least equal to the cost of site acquisition plus eighty (80) percent of the cost of constructing the Replacement Units.

- A. *Site Acquisition Costs.* Guidelines Section VII-D, Ordinance Section 47.79-A.2, and Settlement Section 2.A-2.c require payment to the CRA that is at least equal to the cost of land acquisition in accordance to the Guidelines. The CRA/LA shall determine the site acquisition cost based upon the appraisal of at least five (5) comparable sites subject to review and approval by the CRA/LA and the Buyer. Appendix B provides two of the five comparable sites and the CRA/LA and the Buyer shall utilize best efforts to locate the remaining three comparable sites within the Greater Downtown Housing Incentive area. The site acquisition cost shall be determined by an independent MAI appraiser selected by CRA/LA with at least five years' experience in appraising parcels located within the Map boundaries in downtown Los Angeles.² The Buyer and CRA/A shall provide the Appraiser with mutually agreed upon escrow instructions for their appraisal. If the three remaining comparable sites cannot be located, the Appraiser shall independently identify three (3) additional comparable sites within Greater Downtown Housing Incentive area and prepare an Opinion of Value for land only. The appraisal fee shall be deposited with CRA/LA by the Buyer prior to commencement of the appraisal process.
- B. *Development Costs.* Guidelines Section VII-D, Ordinance Section 47.79-A.2, and Settlement Section 2.A-2.c require payment to the CRA in an amount equal to eighty percent (80%) of the development costs for the one-hundred and eleven (111) Replacement Units. The CRA/LA shall determine the development costs based on industry standards by an development consultants and/or cost-estimators. The Buyer shall provide CRA/LA with the initial cost estimate and CRA/LA will subsequently verify the validity of the estimate with a second development consultant and/or cost estimator. If the respective development cost estimates vary by 10% or more, CRA/LA and the Buyer shall jointly select a third party to verify the validity of the initial cost estimate. The fee for the cost estimator shall be deposited with CRA/LA by the Buyer prior to commencement of the cost estimate process.

The cost of construction of one-hundred and eleven (111) Replacement Units pursuant to Guidelines Section VII-D, Ordinance Section 47.79-A.2, and Settlement Section 2.A-2.C shall be based on the characteristics of the approximately 36,000 square foot, one-hundred and eleven (111) unit Morrison.

² Ordinance Section 47.79-A.2 requires the City's General Services Division to review the independent MAI certified appraisal.

For the avoidance of doubt, the cost estimator shall estimate total development costs, excluding land, for a structure containing 111 Replacement Units and 111 in-unit bathrooms that meets all "hard" costs and "soft" costs directly related to the City permitting requirements for such a project including the following: construction costs; architectural, engineering and design fees; general development management costs; building permits and other City fees; utility fees; taxes; insurance; legal and accounting fees; soils tests and other tests; and all other fees but without the need for variances or other City special entitlements; and, shall include an assumption of a Density Bonus for a 100 percent affordable housing project. Estimation and bidding of construction costs shall be consistent with the size, quantity, type, and material found in the drawings and materials located in Appendix C and D.

As a 100% affordable development (exclusive of manager's unit or units), the Replacement Units would qualify as an affordable housing project under the Los Angeles Municipal Code ("LAMC"). It is assumed that the Replacement Units would be located in the Greater Downtown Housing Incentive Area. Therefore, LAMC Sections 12.22-A.29 and 12.22-A.25 would apply. Incentives for producing affordable housing in the Greater Downtown Housing Area include, but are not limited to:

- No parking space for dwelling units or guest rooms dedicated to or set-aside for household that earn less than 50% of the AMI
- A 35% increase in floor area ratio
- A 20% reduction in the open space requirement

As all Replacement Units are affordable to a household below 50% of AMI, no parking spaces shall be required for the Replacement Units (exclusive of the manager's unit(s)).

Additionally, LAMC 12.33-C.3 identifies affordable housing as one of the developments that shall not be required to pay a park fee. LAMC 12.33-G states an affordable housing unit shall receive an exemption from the requirement for dedication of land for park and recreational purposes and/or payment of the park fee if the affordable housing unit is affordable to a household at or below 120% of AMI. As all Replacement Units are affordable to a household below 120% of AMI, the Replacement Units would be exempt from paying the park fee or land dedication for park and recreational purposes.

- C. *Satisfaction of Conditions.* All applicable conditions under the Guidelines, Settlement, and Ordinance relating to provision of affordable Replacement Units shall be deemed satisfied upon payment of the in-lieu fee as required under Option A.
- D. *In-Lieu Payment.* The in-lieu payment amount shall be based on the estimated site acquisition costs and development costs of the appraisers and consultants/cost-estimators pursuant to Plan Sections I.A and I.B. The in-lieu payment shall be determined within six months of the approval of the Plan. The amount determined will be paid in full to CRA/LA, prior to clearance of any building permits for demolition of affordable units at the Morrison, unless the Buyer chooses Option B.

II. OPTION B: OFF-SITE REPLACEMENT UNITS

This Plan would provide Replacement Units under Guidelines Section VII-B, Ordinance Section 47.79-A.1, and Settlement Section 2.A-2.c(2), which permit a private owner to meet its replacement housing obligation by constructing, or causing to construct, Replacement Units on another site within the applicable boundaries established in the Guidelines, Ordinance, and Settlement.

- A. *Name of Entity and Location for Replacement Units.* Buyer shall satisfy its Replacement Unit obligation under the Guidelines, Settlement, and Ordinance by forming a joint venture entity (the “Housing Developer”) or contracting with The Skid Row Housing Trust (“Skid Row”) to construct one-hundred and eleven (111) new Replacement Units off-site at 401 East 7th Street in the City (the “Project Site”), which is within the applicable boundaries established in the Guidelines, Settlement, and Ordinance.
- B. *Replacement Unit Plan.* Buyer shall satisfy the applicable Replacement Unit obligations under the Guidelines, Settlement, and Ordinance by providing Replacement Units on a one-for-one basis for one-hundred and eleven (111) Residential Hotel units through the construction of one-hundred and eleven (111) off-site Replacement Units at the Project Site. The one-hundred and eleven (111) off-site Replacement Units on the Project Site shall be covenanted as affordable for not less than 55 years at the affordability levels listed as follows:

Affordability Level	Number of Units	% of Units
No More than 20% AMI	13	12%
No More than 25% AMI	4	4%
No More than 30% AMI	35	32%
No More than 40% AMI	26	23%
No More than 50% AMI	33	30%
TOTAL	111	100%

The average affordability for the Replacement Units is approximately 36.9% of AMI.

Because there shall not be a reduction in the number of Replacement Units, the Replacement Units shall have, at a minimum, similar characteristics as the removed existing Residential Hotel units as identified in Section I-C.

Each Replacement Unit shall comply with all applicable federal, state, and local codes. If any Replacement Unit is within 500 feet of a railroad, major highway or freeway, airport or aircraft pathway, the Replacement Units will have a Sound Transition Class of 50 or greater (as defined in the Uniform Building Code).

- C. *Timing and Manner of Replacement Unit Housing Development.* Below is an initial Schedule of Performance for the Replacement Unit Housing Development which is subject to change.

Action Item	Deadline
Acquire the Project Site	Completed
Recordation of Replacement Unit/Affordability Covenants	November 2016
Submit the Site Plan Review Application	October 2016
Receive commitment from Affordable Housing Program	Completed
Receive Site Plan Review approval	March 2017
Receive tax credit allocation and state funding	July 2017
Fund the Buyer Equity Contribution	July – September 2017
Obtain building permits for the Replacement Units	December 2017
Start construction of the Replacement Units	December 2017

The construction and development of the Replacement Unit Housing Development is expected be financed with Tax Exempt Private Activity Bonds, four percent (4%) Low Income Housing Tax Credits (federal and state), Veterans Housing and Homelessness Prevention funds and AHP Funds and other sources. Buyer shall provide any buyer equity contribution necessary for the construction and development of the Replacement Unit Housing Development (the “Buyer Equity Contribution”) in order to avoid the necessity of either the City or CRA/LA having to provide funding for the Replacement Unit Housing Development. Set forth below is an anticipated budget for the financing of the Replacement Unit Housing Development. While the numbers set forth below are subject to change, the Buyer Equity Contribution to be provided by Buyer in all events shall be not less than \$8,000,000.

Fund Type	Amount
Permanent Loan	\$4,200,000
HCD VHHP	\$5,715,639
General Partner Equity	\$1,549,631
Limited Partner Equity	\$18,805,741
Affordable Housing Program (AHP)	\$2,000,000
Deferred Developer Fee	\$1,038,543
Buyer Equity Contribution	\$8,000,000

D. *CRA/LA and HCID Clearances.* The following shall be conditions precedent to the CRA/LA and HCID providing any clearance for the construction on or occupancy of the Property based on compliance with the Design Guidelines:

1. Skid Row or the Housing Developer shall acquire the Project Site;
2. Skid Row or the Housing Developer shall provide evidence that the proposed one-hundred and eleven (111) units can be built on the Project Site;
3. Skid Row or the Housing Developer shall record a covenant on the Project Site for the benefit of the CRA/LA restricting the use of the Project Site to the construction of the Replacement Unit Housing Development which includes the income and rent restrictions required by the Guidelines (the "Replacement Housing Covenant");
4. Skid Row or the Housing Developer shall provide the CRA/LA and HCID with evidence that the financing set forth in Section C, above, has been committed for the Replacement Unit Housing Development; and,
5. If construction of the Replacement Units has not started within twenty-four (24) months of obtaining the permit for the Morrison project, the Developer shall be required to provide the in-lieu payment, as outlined in Section I.
6. To ensure performance, Buyer shall record a mutually agreed upon transfer restriction against the Property requiring CRA/LA approval, consistent with the terms of Sections III.A and III.B herein, for any transfer or sale of the Property prior to the completion of the off-site covenanted Replacement Units (the "Transfer Restriction"). The Transfer Restriction shall be released upon (1) completion of the off-site covenanted Replacement Units; or, (2) provision of the in-lieu payment, as outlined in Section I.

Upon satisfaction of the foregoing conditions, CRA/LA and HCID clearances shall be provided for the building permits for the Property.

F. *Replacement Unit Income Monitoring and Reporting.* The Replacement Unit Housing Development shall comply with the California Tax Credit Allocation Committee requirements for income compliance monitoring and status reporting for the Replacement Units. This Replacement Unit Income Monitoring and Reporting shall fully satisfy all City and HCID income monitoring and reporting requirements. The City and HCID shall require no further or additional income monitoring and reporting.

G. *Restriction on Certificate of Occupancy for Last On-Site Unit.* The City and HCID shall have the right to enforce Buyer's obligations hereunder by withholding the Certificate of Occupancy for the Hotel until the Buyer provides the Buyer Equity Contribution to Skid Row or the Housing Developer, the Replacement Housing Covenant has been recorded in

form and substance acceptable to the parties hereto and construction of the off-site units has commenced.

- H. *Obligations of Skid Row or the Housing Developer Under Plan.* Notwithstanding anything to the contrary set forth herein, Skid Row or the Housing Developer shall have no obligation to construct the Replacement Units until such time as Skid Row or the Housing Developer has received the Buyer Equity Contribution.
- I. *CRA/LA Approval of the Plan.* Any approval of this Plan granted by CRA/LA shall in no way constitute a representation by CRA/LA that this Plan satisfies any provision of the Ordinance. The City is the sole determiner as to whether this Plan complies with the provision of the Ordinance.

III. MISCELLANEOUS

- A. *Applicability of Plan.* This Plan, including its rights and obligations, shall solely benefit and burden the parties hereto and any current or future owner of the Property other than the Buyer shall not have any rights to or benefit of this Plan or any agreement related hereto.
- B. *Successors and Assigns.* This Plan shall be binding upon and inure to the benefit of only the heirs, legal representatives, assigns, and successors-in-interest of Buyer. Buyer may assign its rights and obligations under this Plan to any successor-in-interest to Buyer's fee simple ownership of the Property provided that such successor assumes all obligations of Buyer hereunder to the extent the same arise after the date Buyer transfers the Property and CRA/LA and HCID shall accept performance of Buyer's obligations hereunder by Buyer's successor in the event of any such transfer of ownership of the Property.

(Remainder of this page is intentionally blank; signature page and attachments to follow)

This Unified Replacement Housing Plan is accepted and agreed by and between Buyer and the City as of this 4 day of November 2016:

BUYER:

Hollywood International Regional Center, LLC
a Delaware limited-liability company

By: 
Name: RICHARD HEYMAN
Title: Manager

Attachment:

1. Appendix A: Certificate of Occupancy
2. Appendix B: Comparable Sites
3. Appendix C: Development Cost Appraisal Parameters
4. Appendix D: Draft Replacement Unit Layout
5. Appendix E: Morrison Existing Layout
6. Appendix F: Pertinent Sections of the CRA/LA Development Guidelines and Controls for Residential Hotels in the City Center and Central Industrial Redevelopment Project Areas
7. Appendix G: Pertinent Sections of the Ordinance 180,175
8. Appendix H: Pertinent Sections of the Wiggins Settlement

**APPENDIX A:
CERTIFICATE OF OCCUPANCY**

~~12466~~-60 So. Hope St. & Address of Building
 433-41 W. Pico Owner
 CC ~~430~~ 430 Owner's Address

 (Post Office) (Zone) (State)
 158933 Permit Number 1914 Year

Form B-95-30M-11-48
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
CERTIFICATE OF OCCUPANCY
 Date Certificate Issued:
 October 30, 1914, 19...

This certifies that, so far as ascertained by or made known to the undersigned, the building at the above address complies with the applicable requirements of the Municipal Code, as follows: Chapter 1, as to permitted uses of said property; Chapter 9, Articles 1, 3, 4, and 5; and with the applicable requirements of the State Housing Act,—for the following occupancies:

4 Story, Class C, 111 rooms, Apartment house

COPY

NOTE: Any change of use or occupancy must be approved by the Department of Building and Safety.

G. E. MORRIS
 Superintendent of Building
 By

**APPENDIX B:
COMPARABLE SITES**

From: Mike Condon <Mike.Condon@cushwake.com>
Date: Friday, June 24, 2016 at 8:55 AM
To: Richard Heyman <richard@fivechairs.net>
Cc: Andrew Shayne <andrew@hollywoodirc.com>, Grant China <grant@hollywoodirc.com>
Subject: Blue Comps

Richard,

Per your request, attached are the only two relevant "By Right" comps in the blue region. Both are building tear downs and both were purchased by Skid Row. Within the entirety of the blue area, there is only a single pocket, which is bounded by 3rd to the north, LA St. to the west, 7th St. to the south, and San Pedro to the East. This segment contains both R5 and C2 zoned properties, which according to the City zoning code, will allow for a by right 6:1 FAR, subject to other Q or D conditions that will need to be further investigated with the city. The comp search criteria dated back to January 1, 2013.

401 E 7th St.:

- Closed 4/4/16
- Price: \$4.85 million
- Land Area: 19,519 sf
- Price per land ft: \$248
- Zoning: (Q)R5-2D
- Zoning analysis: Technically R5 by code will get you a 6:1 FAR. But there is both a Q condition on the property and a height limitation as denoted by the "D" that would need to be further investigated through the city planner's office.

649 Wall St.:

- Closed 6/26/15
- Price: \$3.75 million
- Land Area: 14,758 sf
- Price per land ft: \$254/ft
- Zoning: (Q)R5-2D
- Zoning analysis: Technically R5 by code will get you a 6:1 FAR. But there is both a Q condition on the property and a height limitation as denoted by the "D" that would need to be further investigated through the city planner's office.

Mike Condon, Jr.
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City of Los Angeles Department of City Planning

9/28/2016 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

660 S WALL ST
664 S WALL ST
401 E 7TH ST
405 E 7TH ST

ZIP CODES

90014

RECENT ACTIVITY

CPC-2011-1486-SP

CASE NUMBERS

CPC-2011-1486-SP-ZC
CPC-2010-213-CA
CPC-2008-4502-GPA
CPC-2008-4502-GPA
CPC-2005-361-CA
CPC-2005-1124-CA
CPC-2005-1122-CA
CPC-1986-606-GPC
ORD-164307-SA1570
ORD-137036
ORD-135901
ORD-129944
ENV-2013-3392-CE
ENV-2011-1487-EIR
ENV-2010-214-ND
ENV-2008-4505-ND
ENV-2008-4505-ND
ENV-2005-362-CE
ENV-2005-1125-CE
ENV-2005-1123-CE
AFF-47510
CFG-1500

Address/Legal Information

PIN Number	127-5A211 276
Lot/Parcel Area (Calculated)	5,056.1 (sq ft)
Thomas Brothers Grid	PAGE 634 - GRID F5
Assessor Parcel No. (APN)	5148024026
Tract	NORDHOLDT TRACT
Map Reference	M R 6-33
Block	None
Lot	FR 11
Arb (Lot Cut Reference)	2
Map Sheet	127-5A211

Jurisdictional Information

Community Plan Area	Central City
Area Planning Commission	Central
Neighborhood Council	Downtown Los Angeles
Council District	CD 14 - Jose Huizar
Census Tract #	2063.00
LADBS District Office	Los Angeles Metro

Planning and Zoning Information

Special Notes	None
Zoning	[Q]R5-2D
Zoning Information (ZI)	ZI-2374 LOS ANGELES STATE ENTERPRISE ZONE ZI-2452 Transit Priority Area in the City of Los Angeles ZI-2385 Greater Downtown Housing Incentive Area
General Plan Land Use	High Medium Residential
General Plan Footnote(s)	Yes
Hillside Area (Zoning Code)	No
Baseline Hillside Ordinance	No
Baseline Mansionization Ordinance	No
Specific Plan Area	None
Special Land Use / Zoning	None
Design Review Board	No
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
POD - Pedestrian Oriented Districts	None
CDO - Community Design Overlay	None
NSO - Neighborhood Stabilization Overlay	No
Sign District	No
Streetscape	No
Adaptive Reuse Incentive Area	Adaptive Reuse Incentive Areas
Ellis Act Property	No
Rent Stabilization Ordinance (RSO)	No
CRA - Community Redevelopment Agency	City Center Redevelopment Project
Central City Parking	Yes

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Downtown Parking	Yes
Building Line	None
500 Ft School Zone	Active: Jardin de la Infancia
500 Ft Park Zone	No

Assessor Information

Assessor Parcel No. (APN)	5148024026
APN Area (Co. Public Works)*	0.448 (ac)
Use Code	3310 - Warehouse Distributor (10000 to 24999 sqft)
Assessed Land Val.	\$1,123,140
Assessed Improvement Val.	\$1,123,140
Last Owner Change	04/04/16
Last Sale Amount	\$4,850,048
Tax Rate Area	3263
Deed Ref No. (City Clerk)	38778
	2260444
	181964
	181963

Building 1

Year Built	1979
Building Class	C6
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	13,809.0 (sq ft)

Building 2 No data for building 2

Building 3 No data for building 3

Building 4 No data for building 4

Building 5 No data for building 5

Additional Information

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Very High Fire Hazard Severity Zone	No
Fire District No. 1	Yes
Flood Zone	None
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Oil Wells	None

Seismic Hazards

Active Fault Near-Source Zone

Nearest Fault (Distance in km)	0.94097856
Nearest Fault (Name)	Puente Hills Blind Thrust
Region	Los Angeles Blind Thrusts
Fault Type	B
Slip Rate (mm/year)	0.70000000
Slip Geometry	Reverse
Slip Type	Moderately / Poorly Constrained
Down Dip Width (km)	19.00000000
Rupture Top	5.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	25.00000000

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Maximum Magnitude	7.10000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No
Economic Development Areas	
Business Improvement District	FASHION DISTRICT
Promise Zone	No
Renewal Community	No
Revitalization Zone	Central City
State Enterprise Zone	LOS ANGELES STATE ENTERPRISE ZONE
Targeted Neighborhood Initiative	None
Public Safety	
Police Information	
Bureau	Central
Division / Station	Central
Reporting District	166
Fire Information	
Bureau	Central
Batallion	1
District / Fire Station	9
Red Flag Restricted Parking	No

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2011-1486-SP-ZC
Required Action(s):	SP-SPECIFIC PLAN (INCLUDING AMENDMENTS) ZC-ZONE CHANGE
Project Descriptions(s):	PROPOSED FASHION DISTRICT SPECIFIC PLAN
Case Number:	CPC-2010-213-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	AN AMENDMENT TO ARTICLE 4.5 AND SECTION 16.05 OF ARTICLE 6.1 OF THE LOS ANGELES MUNICIPAL CODE (LAMC), AND RELEVANT SECTIONS OF THE LOS ANGELES ADMINISTRATIVE CODE, TO MODIFY THE AUTHORITY AND PROCEDURES FOR EFFECTUATING A TRANSFER OF FLOOR AREA RIGHTS (TFAR) AND TO MAKE OTHER TECHNICAL CHANGES TO REFLECT THE EXPIRATION OF THE AMENDED CENTRAL BUSINESS DISTRICT REDEVELOPMENT PROJECT AREA.
Case Number:	CPC-2008-4502-GPA
Required Action(s):	GPA-GENERAL PLAN AMENDMENT
Project Descriptions(s):	PLAN AMENDMENT, PLAN MAP AMENDMENT
Case Number:	CPC-2008-4502-GPA
Required Action(s):	GPA-GENERAL PLAN AMENDMENT
Project Descriptions(s):	PLAN AMENDMENT, PLAN MAP AMENDMENT
Case Number:	CPC-2005-361-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	CODE AMENDMENT TO UPDATE RESIDENTIAL STANDARDS AND INCENTIVIZE HOUSING IN THE CENTRAL CITY AREA.
Case Number:	CPC-2005-1124-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	TO REQUIRE PROJECTS IN THE CENTRAL CITY COMMUNITY PLAN TO COMPLY WITH DESIGN AND STREETScape GUIDELINES
Case Number:	CPC-2005-1122-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	INCENTIVES FOR HTE PRODUCTION OF AFFORDABLE AND WORKFORCE HOUSING IN THE CENTRAL CITY PLAN AREA
Case Number:	CPC-1986-606-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Descriptions(s):	GENERAL PLAN/ZONE CONCSISTENCY - CENTRAL CITY AREA - COMMUNITYWIDE ZONE CHANGES AND COMMUNITY PLAN CHNAGES TO BRING THE ZONING INTO CONSISTENCY WITH THE COMMUNITY PLAN. INCLUDING CHANGESOF HEIGHT AS NEEDED
Case Number:	ENV-2013-3392-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	THE PROPOSED ORDINANCE MODIFIES SECTION 22.119 OF THE LOS ANGELES ADMINISTRATIVE CODE TO ALLOW ORIGINAL ART MURALS ON LOTS DEVELOPED WITH ONLY ONE SINGLE-FAMILY RESIDENTIAL STRUCTURE AND THAT ARE LOCATED WITHIN COUNCIL DISTRICTS 1, 9, AND 14.
Case Number:	ENV-2011-1487-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	PROPOSED FASHION DISTRICT SPECIFIC PLAN
Case Number:	ENV-2010-214-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	AN AMENDMENT TO ARTICLE 4.5 AND SECTION 16.05 OF ARTICLE 6.1 OF THE LOS ANGELES MUNICIPAL CODE (LAMC), AND RELEVANT SECTIONS OF THE LOS ANGELES ADMINISTRATIVE CODE, TO MODIFY THE AUTHORITY AND PROCEDURES FOR EFFECTUATING A TRANSFER OF FLOOR AREA RIGHTS (TFAR) AND TO MAKE OTHER TECHNICAL CHANGES TO REFLECT THE EXPIRATION OF THE AMENDED CENTRAL BUSINESS DISTRICT REDEVELOPMENT PROJECT AREA.
Case Number:	ENV-2008-4505-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	PLAN AMENDMENT, PLAN MAP AMENDMENT
Case Number:	ENV-2008-4505-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	PLAN AMENDMENT, PLAN MAP AMENDMENT
Case Number:	ENV-2005-362-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION

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Project Descriptions(s): CODE AMENDMENT TO UPDATE RESIDENTIAL STANDARDS AND INCENTIVIZE HOUSING IN THE CENTRAL CITY AREA.

Case Number: ENV-2005-1125-CE

Required Action(s): CE-CATEGORICAL EXEMPTION

Project Descriptions(s): TO REQUIRE PROJECTS IN THE CENTRAL CITY COMMUNITY PLAN TO COMPLY WITH DESIGN AND STREETScape GUIDELINES

Case Number: ENV-2005-1123-CE

Required Action(s): CE-CATEGORICAL EXEMPTION

Project Descriptions(s): INCENTIVES FOR HTE PRODUCTION OF AFFORDABLE AND WORKFORCE HOUSING IN THE CENTRAL CITY PLAN AREA

DATA NOT AVAILABLE

ORD-164307-SA1570

ORD-137036

ORD-135901

ORD-129944

AFF-47510

CFG-1500

**APPENDIX C:
DEVELOPMENT COST APPRAISAL PARAMETERS**

STEINBERG

DESIGN PARAMETERS

Project Name:	Morrison SRO Housing
Project Address:	Los Angeles, CA 90015
Project Number:	15200
Owner	TBD
Date:	10/11/2016
STRUCTURE	
Foundation	
1.) Level 1 Ground floor slab	PT slab – 9” thick, except 14” thick conventional slab over driveway and loading areas.
2.) Foundation:	Conventional Spread Footings.

Framing (Floors 1-5)	III A
1.) Exterior Walls:	<p>a) Nonbearing- 1hr rated 2x6" FIRE RETARDANT Wood Studs w/ plaster on exterior side and 5/8" rated gyp board on interior side (1 hour fire rated per GA file no. WP 8130 or LABC Table 720.1(2), item 15-1.3)</p> <p>b) Bearing 2hr rated 2x6" FIRE RETARDANT Wood Studs w/ plaster and 2-layers 5/8" rated gypsum sheathing on exterior side and 2-lyrs of 5/8" gyp board on interior side (2 hour fire rated per GA file no. WP 8417 or LABC Table 720.1(2), item 15-1.6)</p>
2.) Interior Partitions:	2x4" Wood Stud Walls
2.) Unit to Corridor Partitions:	2-lyrs of 5/8" gyp. on corridor side, 1-lyr of 5/8" gyp bd.on unit side. (1 hour fire rated per GA file no. WP 3380)
3.) 3-Hr Fire-wall:	Wood stud 3hr rated core wall with 2x6 studs w/ 1" airspace gap w/ 2 layers of 5/8" gyp board on each side (3 hour fire rated per GA file no. WP 2930)
4.) Party Walls	At all other units: 2x6 sill w/ 2x4" staggered studs 2-lyrs of 5/8" gyp. on one side, 1-lyr of 5/8" gyp bd.on other side. (1 hour fire rated per GA file no. WP 3380)

STEINBERG

DESIGN PARAMETERS

Floor Assembly	
1.) Interior Party Floors:	2x12 Joists @ 16" o.c. with 3/4" structural sheathing. Floors will be topped with 1-1/2" gypcrete plus floor finish (linoleum, over acoustical underlayment). Floor framing shall support one layer of gypsum board mounted to RC-1 resilient channels. Provide single layer of R-11 batt insulation. (1 hour fire rated assembly per GA file no. FC 5107)
2.) Exterior Deck:	2x10 joists @ 16" o.c. . Floors will be topped with 2 1/2" hardrock concrete over drainage mat and waterproofing over 1 layer of 3/4" plywood, rip joists for drainage, flush beam supports deck framing. Exterior plaster applied to underside of 1 layer 5/8" type 'x' gypsum board applied to joists ; fire rated per UL #L519, System #2
3.) Common corridors	2x8 joists @ 16" o.c. with 3/4" structural sheathing. Floors will be topped with 2 1/2" hardrock concrete plus floor finish (where occurs). Floor framing shall support one layer of gypsum board mounted to underside of joists. Drop ceiling of one layer of gypsum board supported by wood stud framing.
4.) Roof:	Modified bitumen roofing system over 5/8" CDX sheathing and plywood crickets over trusses, slope along flow line at 1/4" per foot min. Structural to include provisions for concrete equipment pads on roof if required by acoustical consultant. Provide R-30 batt insulation in between joists. Slope to internal drains. 2 layers of 5/8" gypsum board applied to trusses. (Fire rated assembly per GA file no. RC 2602)
BUILDING EXTERIOR	
Finish -- Plaster	
1.) Texture:	7/8" -3 coat ext. cement plaster over building paper 16/20 Finish
Finish -- Aluminum Composite Panels	
	Factory PVDF coating
Finish -- Tile	
	Ceramic tile
Finish -- Exterior painting	
a.) Stucco	Painted
b.) Perforated Metal panels	Painted
c.) Railings	Painted
Roofing	
1.) Modified Bitumen	3 ply Class 'A' SBS Modified Bitumen Roofing

STEINBERG

DESIGN PARAMETERS

<i>Metal Fabrications</i>	
1.) Railings & Guardrails:	Steel tube and wrought iron designed to lateral Load per CBC.
2.) Other elements:	
3.) Finish:	
a.) Material	Steel
b.) Finish:	Painted – Metallic high-performance coating (e.g. Precision Coatings)
<i>Insulation</i>	
Note:	
* All exterior walls will have fiber glass batt insulation, thickness as required by title 24 and acoustic analysis.	
* Provided also at drain, water and waste lines.	
* Fiberglass batt insulation will also be used at all bedroom and corridor walls.	
1.) Batt Style in Walls:	TBD by Energy Code
2.) Batt Style in Ceilings:	TBD by Energy Code
<i>Waterproofing</i>	
1.) Waterproofing at roof deck	
<i>Stairs in Type III</i>	
	(Design/Build)
1.) Stair Framing:	Steel
2.) Riser/Tread	Concrete filled pan
3.) Landings	a) Steel Pan w/ PIP Concrete b) Precast Panels In Steel Frame
<i>Windows/ Doors</i>	
1.) Windows:	Vinyl AAMA C-C-40; F-C-40 AP-C-40- Milgard Montecito
2.) Operation:	Fixed, Casement
3.) Finish:	White Vinyl;
4.) Glazing:	Dual glazed throughout; specifics per Acoustic Report
<i>Storefront Glazing – Entry Lobby & Amenity</i>	
1.) Frames/Mfg.:	Arcadia AG 451 Center glazed- 2" x 4-1/2"
2.) Operation:	Fixed
3.) Finish:	Factory enamel
4.) Glazing:	TBD per Energy Code and Acoustical Report
BUILDING INTERIOR -- UNITS	
<i>Drywall</i>	5/8" Type 'X' Gyp board
Note:	
1.) All interior walls:	Drywall- Level 4

STEINBERG

DESIGN PARAMETERS

2.) At Bathtub/shower surrounds use:	a) DensShield Tile Backer
3.) Wall and Ceiling Texture	a) Light Orange Peel
PS: No dropped Ceiling Soffits	
Unit Doors	
1.) Entry Door panel:	1 3/4" Flush Panel Metal Door
2.) Interior Doors:	1 3/4" Flush Panel Hollow Core Wood Door
3.) Wardrobe Doors:	Paint grade
4.) Sliding Doors:	N/A
Finish Hardware	
1.) Living Unit Entry Handle Set:	
a.) Vendor	Kwikset
b.) Style:	TBD
c.) Finish	TBD
2.) Living Unit Interior Hardware:	
a.) Vendor	TBD
b.) Style:	TBD
c.) Finish	TBD
Flooring	
1.) Kitchen:	Vinyl Flooring
2.) Bath:	Vinyl Flooring
3.) Entry:	Vinyl Flooring
4.) Washer/Dryer	Vinyl Flooring
5.) Other Areas: (living/family/dining)	Vinyl Flooring
6) Bedrooms/ Den	Vinyl Flooring
Painting	
Note:	
* Finish painting will consist of 2 coats over prime coat	Frazer paints
1.) Interior Living Spaces:	One Color Flat (walls); One Color Flat (ceiling)
2.) Doors, Frames, Casework & Finish Carpentry enamel:	One Color Semi-gloss
3.) Kitchen/bath enamel:	One Color Gloss (LoGlo)
4.) Interior registers to match wall color	
Window Coverings	
1.) Glass Doors	1" Horizontal Blinds
2.) All Others:	3-1/2" Vertical Blinds
Finish Carpentry	
1.) Interior Door Casing (size/style)	2-1/4" Streamline by Kelleher (paint grade)
2.) Baseboards (size/style)	3-1/4" Streamline by Kelleher (paint grade)
Cabinets	
1.) Kitchen:	3 DRAWER CABINET
2.) Bathrooms:	Flat panel door w/ overlay hinges
3.) Interior:	TBD

STEINBERG

DESIGN PARAMETERS

4.) Hardware:	TBD
Kitchen Countertop	
1.) Surface:	P. Laminate
2.) Edge:	square edge, mitered corner
3.) Backsplash	4" Laminate
Bath Countertop (NONE)	
Bath Fixtures	
Prefabricated Bathroom	SUNZOOM Model # 160120 prefabricated bathroom; acrylic composite w/ sink, faucet, shower, lighting, etc.
Appliances	
Microwave	RCA 0.7 cu.ft. countertop Microwave Model # RMW733- Black
1.) Under Counter Refrigerator	Magic Chef 3.5 cu.ft. Model HMBR350SE1
Sink	Moen 2200 drop in stainless steel single bowl sink : Model G2245622
BUILDING INTERIOR -- COMMON AREAS	
Drywall	
Note:	
1.) All interior walls:	Drywall Level 4
2.) Floor Ceiling Assemblies:	Drywall Level 4
3.) Wall and Ceiling Texture	Light Orange Peel
Surface Flooring	
Note:	
* Acoustical isolation membrane under topping slab will be required at all surface flooring.	
1.) Elevator Lobby:	Vinyl
2.) Entry Vestibules:	Vinyl
3.) Corridors:	Vinyl
4.) Mail Room	Vinyl
	Vinyl

STEINBERG

DESIGN PARAMETERS

Painting	
Note:	
* Finish painting will consist of 2 coats over prime coat	
1.) Interior Walls:	Per Interior Designer
2.) Doors, Frames, Casework & Finish Carpentry enamel:	Per Interior Designer
Finish Carpentry	
1.) Interior wood trim molding:	None
2.) Interior Door Casing (size/style)	2" Streamline
3.) Baseboards (size/style)	4" Paint Grade MDF
Misc. Building Specialties	
Note:	
* Manufacturer and model numbers to be selected. Including but not limited to the following:	
1.) Fire Extinguisher & Cabinets	J.L Industries- Academy Series Semi-recessed
2.) Mailboxes:	USPS 4C Standard In Wall, Front Loading, Match Nickel Finish
3.) Door Chime:	Per Interior Designer
4.) Bike Racks:	Dero Decker Modular 2-Tiered System Model DD-SS-12, galvanized finish, or equal
5.) Signage:	TBD
6.) Elevator Smoke Curtain	N/A
PLUMBING	
Note:	
* All waste lines are cast iron.	
* Domestic water supply line is copper	
1.) Hot Water: (Central)	a) Solar hot water heating with gas boiler backup at two locations (On Roof)
2.) Isolators	Per Acoustic Consult.
Fire Sprinklers	
Note:	
* All buildings to be fully sprinklered.	
* Rec/ Leasing areas to comply with NFPA 13	
* Conform to requirements of Building/Fire Dept.	
HVAC	
Optional : Air Conditioner (wall unit)	GE AEL08LS, 8,000 BTU 115 Volt Electric window Unit
ELEVATORS	

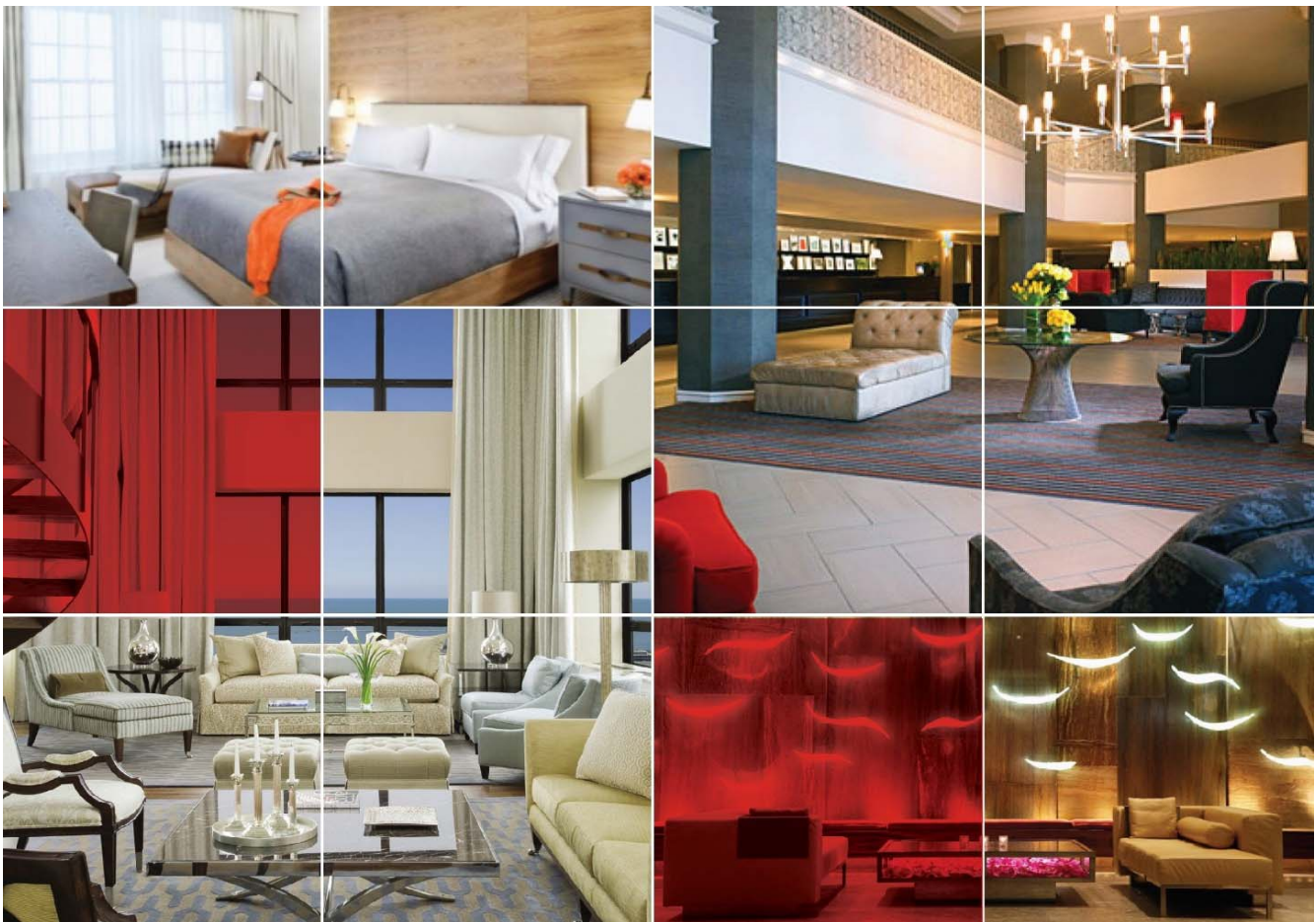
STEINBERG

DESIGN PARAMETERS

Elevator	Thyssenkrupp Synergy Machine Room-less, Building Supported, 3,500# capacity, 10 stop side slide opening; 200 FPM.
ELECTRICAL	
Note:	
* Each residential unit will have its own single phase, 120/240, three wire electrical panel which will be located in the unit.	
1.) Metering (Individual vs. House Meter):	Individual House Meter (Common Areas)
Emergency Power/ Lighting	Battery packs (Bug eyes)
Fixtures	
1.) Unit entry way:	Hampton Bay Model # 54616241
2.) Bedroom (closet)	Hampton Bay Model # 54616241
3.) Kitchen:	Lithonia Model # 3348 2I32W
4.) Bath:	Fan/Light Combo; Vanity strip sconce
5.) Closets:	N/A
Data/Phone/TV connections	
Note:	
1.) Cable TV (location/s)	
2.) Phone (location/s)	
3.) Cat5-RJ45 (location/s)	
Signal and Communications	
Note:	
* Fire Alarm System Components: Chime/Strobes in all areas, manual pull stations and connections to the sprinkler flow and tamper switches.	

the MORRISON - SRO Dwellings Downtown Los Angeles, CA

Program Budget
October 10, 2016



Prepared for:

Richard Heyman

Five Chairs

Contents

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Overall Summary

Description	Total	\$/GFA
		41,343
Main Building		
Main Building - Construction Cost	\$ 5,459,951	\$ 132.06
Main Building Construction Costs - Total	\$ 5,459,951	\$ 132.06
Site Work		
Site Work - Construction Cost	\$ 117,828	\$ 2.85
Site Work Construction Costs - Total	\$ 117,828	\$ 2.85
Project Soft Costs		
Acquisition Costs (12,000sf Land area @ \$250/sf)	\$ 3,000,000	Excluded
Professional Fees	\$ 250,000	Excluded
Permits	\$ 200,000	Excluded
Testing & Inspections	\$ 100,000	Excluded
Demolition & Site clearance	\$ 50,000	Excluded
Mail box / window coverings	\$ 15,000	Excluded
Contingency - Soft Cost	\$ 100,000	Excluded
Escalation	Excluded	Excluded
Soft Costs - Total	\$ 3,715,000	\$ -
Project Budget - Total	\$ 9,292,779	\$ 224.77
CRA CALCULATION		
	CRA ALLOCATION (%)	
Acquisition Costs (12,000sf Land area @ \$250/sf)	100%	\$ 3,000,000
Project budget less acquisition costs	80%	\$ 5,034,223
TOTAL PAYMENT IN LIEU		\$ 8,034,223



Trade Summary

Code	Description	Main Building	Cost/GFA	Site Work	Cost/GFA	Total	Cost/GFA
03 00 00	Concrete	\$306,477	\$7.41	\$0	\$0.00	\$306,477	\$7.41
05 12 00	Structural Steel Framing	\$15,000	\$0.36	\$0	\$0.00	\$15,000	\$0.36
06 10 00	Rough Carpentry	\$914,533	\$22.12	\$0	\$0.00	\$914,533	\$22.12
06 40 00	Architectural Woodwork	\$194,700	\$4.71	\$0	\$0.00	\$194,700	\$4.71
07 10 00	Dampproofing and Waterproofing	\$13,742	\$0.33	\$0	\$0.00	\$13,742	\$0.33
07 21 00	Thermal Insulation	\$123,027	\$2.98	\$0	\$0.00	\$123,027	\$2.98
07 55 51	Built-Up Bituminous Protected Membrane Roofing	\$93,016	\$2.25	\$0	\$0.00	\$93,016	\$2.25
07 62 00	Sheet Metal Flashing and Trim	\$33,172	\$0.80	\$0	\$0.00	\$33,172	\$0.80
08 10 00	Doors and Frames	\$229,550	\$5.55	\$0	\$0.00	\$229,550	\$5.55
08 80 00	Glazing	\$62,250	\$1.51	\$0	\$0.00	\$62,250	\$1.51
09 20 00	Plaster and Gypsum Board	\$231,399	\$5.60	\$0	\$0.00	\$231,399	\$5.60
09 29 00	Gypsum Board	\$452,642	\$10.95	\$0	\$0.00	\$452,642	\$10.95
09 65 16	Resilient Sheet Flooring	\$159,087	\$3.85	\$0	\$0.00	\$159,087	\$3.85
09 80 00	Acoustic Treatment	\$43,351	\$1.05	\$0	\$0.00	\$43,351	\$1.05
09 90 00	Painting and Coating	\$122,324	\$2.96	\$0	\$0.00	\$122,324	\$2.96
10 14 00	Signage	\$7,500	\$0.18	\$0	\$0.00	\$7,500	\$0.18
10 28 00	Toilet, Bath, and Laundry Accessories	\$42,450	\$1.03	\$0	\$0.00	\$42,450	\$1.03
10 44 13	Fire Protection Cabinets	\$15,900	\$0.38	\$0	\$0.00	\$15,900	\$0.38
11 31 00	Residential Appliances	\$28,225	\$0.68	\$0	\$0.00	\$28,225	\$0.68
14 20 00	Elevators	\$191,800	\$4.64	\$0	\$0.00	\$191,800	\$4.64
21 00 00	Fire Suppression	\$88,186	\$2.13	\$0	\$0.00	\$88,186	\$2.13
22 00 00	Plumbing	\$632,951	\$15.31	\$0	\$0.00	\$632,951	\$15.31
23 00 00	Heating, Ventilating, and Air Conditioning (HVAC)	\$208,525	\$5.04	\$0	\$0.00	\$208,525	\$5.04
26 00 00	Electrical	\$556,411	\$13.46	\$0	\$0.00	\$556,411	\$13.46
28 31 00	Fire Detection and Alarm	\$72,350	\$1.75	\$0	\$0.00	\$72,350	\$1.75
31 20 00	Earth Moving	\$53,071	\$1.28	\$0	\$0.00	\$53,071	\$1.28
32 30 00	Site Improvements	\$0	\$0.00	\$64,458	\$1.56	\$64,458	\$1.56
32 90 00	Planting	\$0	\$0.00	\$6,623	\$0.16	\$6,623	\$0.16
33 00 00	Utilities	\$0	\$0.00	\$35,000	\$0.85	\$35,000	\$0.85
BUILDING TRADE COST BEFORE CONTINGENCIES		\$4,891,637	\$118.32	\$106,081	\$2.57	\$4,997,718	\$120.88
D40	Contingency for Design Development	NIC	NIC	NIC	NIC	NIC	NIC
BUILDING TRADE COST INCL. CONTINGENCIES		\$4,891,637	\$118.32	\$106,081	\$2.57	\$4,997,718	\$120.88
D70	General Requirements	\$48,916	\$1.18	\$1,061	\$0.03	\$49,977	\$1.21
E10	General Conditions	\$333,487	\$8.07	\$7,232	\$0.17	\$340,719	\$8.24
E20	Fee	\$131,851	\$3.19	\$2,287	\$0.06	\$134,139	\$3.24
F10	Insurance	\$54,059	\$1.31	\$1,167	\$0.03	\$55,226	\$1.34
BUILDING CONSTRUCTION COST		\$5,459,951	\$132.06	\$117,828	\$2.85	\$5,577,779	\$134.91
030	See Overall Summary for Escalation	\$0	NIC	\$0	NIC	\$0	NIC
RECOMMENDED BUDGET		\$5,459,951	\$132.06	\$117,828	\$2.85	\$5,577,779	\$134.91

Basis & Scope of Estimate

Qualifications

- 1 The budget is prepared based on the project exhibit drawings dated 10.07.16 as prepared by Steinberg Architects, as well as the 'design parameter specifications e-mailed by Five Chairs Construction on 10.07.16.
- 2 It is prepared for preliminary budgeting purposes only.
- 3 All work to be performed during standard working hours.
- 4 Work to be performed in one phase.
- 5 Client will provide free of charge, utilities, parking and trash area.
- 6 We have assumed a 10 month duration for this project.

Exclusions

- 1 Technology costs i.e. data/ communications, security, audio visual etc.
- 2 All furniture, fixtures equipment
- 3 Relocation costs.
- 4 Changes and/or delays effected by Governmental Agencies.
- 5 Hazardous material abatement i.e. asbestos, lead etc.
- 6 Payment and performance bond.
- 7 Dewatering, rock removal and any other unforeseen ground conditions.
- 8 Handling and removal of contaminated soil.
- 9 Diversion or reinforcement of existing on site utilities.
- 10 Escalation costs.
- 11 Outdoor open space roof decks. Budget assumes roof will not be occupied.
- 12 Perimeter fencing and gates.
- 12 Waterproofing restroom floors and floor drains.
- 13 Grease interceptors
- 14 Electric substation.
- 15
- 16
- 17
- 18
- 19
- 20
- 21

Basis & Scope of Estimate

Scope of Work

- 1 Concrete - Reinforced concrete spread footings, slab on grade, vapor barrier and sand bed. Elevator pit.
- 2 Structural Steel Framing - Roof screen allowance, \$15,000.
- 3 Wood Stairs
- 4 Rough Carpentry - Type V timber frame structure. Plywood sheathing at floors, roof and exterior walls.
- 5 Architectural Woodwork - Allowance for basic residential grade kitchen base units and countertops.
- 6 Dampproofing and Waterproofing - Waterproofing elevator pits.
- 7 Thermal Insulation - Batt insulation in walls, floors and roof structure.
- 8 Built-Up Bituminous Protected Membrane Roofing - Bitumen roofing and dense deck sheathing.
- 9 Sheet Metal Flashing and Trim - Allowance for sheet metal flashings and trims.
- 10 Doors and Frames - Exterior doors, steel hollow metal. Interior 'residential type' basic solid core paint grade doors at SRO room entrances. Hollow core paint grade doors within rooms.
- 11 Glazing - Exterior dual glazed windows 4-0x4-0 generally with storefront glass at main entrance,
- 12 Plaster and Gypsum Board - Exterior walls are integral color stucco, with type x sheathing and building paper.
- 13 Gypsum Board - Interior drywall on timber stud. Drywall sheathing at ceilings on timber stud.
- 14 Resilient Sheet Flooring - VCT flooring throughout with rubber base.
- 15 Acoustic Treatment - Acoustic underlay at common area flooring.
- 16 Painting and Coating - Painted walls and ceilings throughout.
- 17 Signage - Code compliant signage only.
- 18 Toilet, Bath, and Laundry Accessories - Allowance for basis residential grade toilet paper dispensers, mirrors, grab bars etc.

- 19 Fire Protection Cabinets - Allowance for fire protection cabinets on each floor,
- 20 Appliances - Basic residential grade appliances included within SRO rooms and Mangers Unit.
- 21 Elevators - One 3500lb five stop elevator.
- 22 Fire Suppression - Sprinklers included.
- 23 Plumbing - New basic residential grade plumbing fixtures included. Allowances for hot/ cold pipework, sewer and storm water drainage.
- 24 HVAC - Roof top package unit serving common areas. Constant volume system, with smoke extract on each floor. We have included an allowance within the rooms for a through wall air conditioning unit. Bathrooms have extract fans.
- 25 Electrical - New electrical installation, comprising main service, sub distribution and power / lighting. Lighting is based on an overall allowance of \$7/SF to furnish and install a basic light fixture package. Controls are included at an allowance of \$2/SF (furnish and install). Both allowances are based on discussions with Five Chairs Development and will require to be verified once a fixture package has been prepared.
- 26 Fire Detection and Alarm - New fire life safety system.
- 27 Site Work - Includes an allowance for hard surfacing, landscape, bike racks and 'open' transformer pad.
- 28 Utilities - Allowance for gas, water, sewer and electrical utilities connections.
- 29

Main Building - Areas

Building Areas	Sub-Total		Total
Enclosed Areas			
Level 1	8,396	SF	
Level 2	8,097	SF	
Level 3	8,097	SF	
Level 4	8,097	SF	
Level 5	8,097	SF	
Roof Level	559	SF	
Subtotal of Enclosed Areas		SF	41,343
Open Areas			
Sky Deck	NIC	SF	
Subtotal of Covered Areas at Half Value		SF	NIC
Total Area (Excluding Deck)		GFA	41,343

Functional Areas	Area		Ratio To GFA
Program Areas			
Typical Room	19,293	SF	0.467
Typical Room Bathroom	5,811	SF	0.141
Typical Room Closet	1,064	SF	0.026
Office	135	SF	0.003
Mail Room	194	SF	0.005
Manager Unit - Bath	66	SF	0.002
Manager Unit - Bedroom	132	SF	0.003
Manager Unit - Closet	43	SF	0.001
Manager Unit - Living/ Kitchen Etc	485	SF	0.012
Common Restrooms	123	SF	0.003
Exit Corridors	185	SF	0.004
Auto Parking	333	SF	0.008
Corridors	6,060	SF	0.147
Elevator Core	678	SF	0.016
Indoor Open Space	1,891	SF	0.046
Staircases	2,596	SF	0.063
Electrical Room	731	SF	0.018
Utility/ Trash/ BOH	142	SF	0.003
Bike Areas	1,380	SF	0.033
Number of stories (x1,000)	5	EA	0.000
Gross Area	41,343	GFA	1.000
Enclosed Area	41,343	GFA	1.000
Balcony Area	NIC	SF	-
Footprint Area	8,396	SF	0.203
Volume	373,205	CF	9.027
Gross Wall Area	25,636	SF	0.620
Finished Wall Area	23,571	SF	0.570
Exterior Windows or Glazing	8%	2,065 SF	0.050
Roof Area - Flat	8,456	SF	0.205
Roof Area - Total	8,456	SF	0.205
Interior Partitions	5,912	LF	0.143
Elevators (x10,000)	5	STPS	0.000
Plumbing Fixtures (x1,000)	452	EA	0.011

Main Building - Summary

Sys	Description		Total	\$/GFA	%
A10	Foundations	\$	64,459	\$ 1.56	1%
A40	Slab on Grade	\$	185,269	\$ 4.48	3%
A90	Substructure Related Activities	\$	18,658	\$ 0.45	0%
A	Substructure	\$	268,385	\$ 6.49	5%
B10	Superstructure	\$	957,437	\$ 23.16	18%
B20	Exterior Vertical Enclosures	\$	525,992	\$ 12.72	10%
B30	Exterior Horizontal Enclosures	\$	125,938	\$ 3.05	2%
B	Shell	\$	1,609,366	\$ 38.93	29%
C10	Interior Construction	\$	564,433	\$ 13.65	10%
C20	Interior Finishes	\$	465,156	\$ 11.25	9%
C	Interiors	\$	1,029,589	\$ 24.90	19%
D10	Conveying	\$	191,800	\$ 4.64	4%
D20	Plumbing	\$	620,701	\$ 15.01	11%
D30	HVAC	\$	208,525	\$ 5.04	4%
D40	Fire Protection	\$	88,186	\$ 2.13	2%
D50	Electrical	\$	556,411	\$ 13.46	10%
D70	Electronic Safety and Security	\$	72,350	\$ 1.75	1%
D	Services	\$	1,737,973	\$ 42.03	32%
E20	Furnishings	\$	246,325	\$ 5.96	5%
E	Equipment & Furnishings	\$	246,325	\$ 5.96	5%
SUB-TOTAL - CONSTRUCTION		\$	4,891,637	\$ 118.31	90%
Z	General Requirements	1.00%	\$ 48,916	\$ 1.18	1%
Z	General Conditions	6.75%	\$ 333,487	\$ 8.07	6%
Z	Fee	2.50%	\$ 131,851	\$ 3.19	2%
Z	Insurance	1.00%	\$ 54,059	\$ 1.31	1%
Z	Bond	0.00%	NIC	NIC	0%
SUB-TOTAL - INCLUDING GENERAL CONDITIONS		\$	5,459,951	\$ 132.06	100%
Z	Contingency for Design Development	10.00%	NIC	NIC	0%
TOTAL PROJECT COST		\$	5,459,951	\$ 132.06	100%

Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
A Substructure						
A10 Foundations						
A1010 Standard Foundations						
<i>A1010.10 Wall Foundations</i>						
Reinforced concrete perimeter strip foundations, 2-6x2-0 deep						
1	31 20 00	Excavate	92	CY	20.00	1,841
2	31 20 00	Remove excavated material off site	92	CY	30.00	2,761
3	03 00 00	Reinforcement (100LBS/CY)	9,204	LBS	1.00	9,204
4	03 00 00	Formwork	1,988	SF	5.00	9,940
5	03 00 00	Concrete 2-6x2-0 deep	92	CY	350.00	32,213
Reinforced pad foundations, 3-0x3-0x2-6 deep (15EA)						
6	31 20 00	Excavate	13	CY	20.00	250
7	31 20 00	Remove excavated material off site	13	CY	30.00	375
8	03 00 00	Reinforcement (100LBS/CY)	1,250	LBS	1.00	1,250
9	03 00 00	Formwork	450	SF	5.00	2,250
10	03 00 00	Concrete 3-0x3-0x2-6 deep	13	CY	350.00	4,375
A10 Foundations- Total						\$ 64,459
A40 Slab on Grade						
A4010 Standard Slabs-on-Grade						
Slab on grade, main building						
11	03 00 00	Concrete, 9" thick	218.83	CY	350.00	76,589
12	03 00 00	Formwork	77	LF	5.00	385
13	03 00 00	Reinforcement, (150LBS/CY)	30,665	LBS	1.00	30,665
14	03 00 00	Finish and cure	8,062.94	SF	0.50	4,031
15	03 00 00	Control joints	8,062.94	SF	1.00	8,063
Slab on grade, driveway						
1	03 00 00	Concrete, 14" thick	14	CY	350.00	5,038
2	03 00 00	Formwork	77	LF	5.00	385
3	03 00 00	Reinforcement, (150LBS/CY)	2,159	LBS	1.00	2,159
4	03 00 00	Finish and cure	333	SF	0.50	167
5	03 00 00	Control joints	333	SF	1.00	333
A4040 Pits and Bases						



Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
		Elevator pit (7-0x9-0x5-0)				-
16	31 20 00	Excavate	12	CY	20.00	233
17	31 20 00	Remove excavated material off site	12	CY	40.00	467
18	03 00 00	Reinforcement (250LBS/CY)	1,769	LBS	1.00	1,769
19	03 00 00	Formwork, base	32	LF	5.00	160
20	03 00 00	Formwork, walls	256	SF	20.00	5,120
21	03 00 00	Concrete, base 7-0x9-0x1-0 deep	2	CY	350.00	817
22	03 00 00	Concrete, walls 1-0 thick	5	CY	350.00	1,659
23	07 10 00	Waterproofing walls & base	191	SF	17.00	3,247
24	31 20 00	Sand base	63	SF	3.00	189
		Sump pit				-
25	03 00 00	Allowance	1	LS	5,000.00	5,000
		A4090 Slab-On-Grade Supplementary Components				-
		<i>A4090.20 Vapor Retarder</i>				-
		Vapor barrier				-
26	07 10 00	Generally, beneath slab	8,396	SF	1.25	10,495
		<i>A4090.60 Subbase Layer</i>				-
		Sub-base				-
27	31 20 00	6" thick	155	CY	20.00	3,110
		Sand bed				-
28	31 20 00	Generally, beneath slab	8,396	SF	3.00	25,188
A40 Slab on Grade- Total						\$ 185,269
A60 Water & Gas Mitigation						-
		A6020 Off-Gassing Mitigation				-
		<i>A6020.50 Methane Mitigation</i>				-
29	31 20 00	Methane Mitigation	1	LS	NIC	NIC
A60 Water & Gas Mitigation- Total						\$ -
A90 Substructure Related Activities						-
		A9010 Substructure Excavation				-
		<i>A9010.10 Backfill and Compaction</i>				-



Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
		Excavate				-
30	31 20 00	Reduce level to sub-grade	311	CY	20.00	6,219
		Disposal				-
31	31 20 00	Excavated material off site	311	CY	40.00	12,439
		A9020 Construction Dewatering				-
		Construction dewatering				-
32	31 20 00	Allowance	1	LS	NIC	NIC
A90 Substructure Related Activities- Total						\$ 18,658
B Shell						
B10 Superstructure						
		B1010 Floor Construction				-
		<i>B1010.10 Floor & Roof Structural Frame</i>				-
		Wood framing				-
33	06 10 00	Framing horizontal and vertical structure	41,343	SF	15.50	640,817
		<i>B1010.20 Floor / Roof Decks, Slabs, and Toppings</i>				-
		Plywood				-
34	06 10 00	Plywood sheathing, - Floors	32,887	SF	4.00	131,548
35	03 00 00	Lightweight concrete 1 1/2" - Floors	26,643	SF	3.00	79,929
36	03 00 00	Lightweight concrete 2 1/2" - Corridor Floors	6,244	SF	4.00	24,976
36	07 21 00	Batt insulation - Floors	32,887	SF	1.00	32,887
37	06 10 00	Plywood sheathing - Roof	8,456	SF	4.00	33,824
38	07 21 00	Plywood sheathing, batt insulation - Roof	8,456	SF	1.00	8,456
		B1020 Roof Construction				-
		<i>B1020.90 Roof Construction Supplementary Components</i>				-
		Roof top equipment pads				-
39	06 10 00	Roof top equipment pads - allowance	1	LS	5,000.00	5,000
B10 Superstructure- Total						\$ 957,437
B20 Exterior Vertical Enclosures						
		B2010 Exterior Walls				-

Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
		<i>B2010.10 Exterior Wall Veneer</i>				-
41	09 20 00	Stucco exterior wall, w/ 5/8" type x sheathing & paper	23,571	SF	9.00	212,139
		<i>B2010.30 Exterior Wall Interior Skin</i>				-
42	06 10 00	Timber stud framing 2x6	23,571	SF	Incl Framing	Incl Framing
43	06 10 00	Plywood sheathing	23,571	SF	4.00	94,284
44	07 21 00	Insulation	23,571	SF	1.00	23,571
45	09 29 00	Drywall, two layer, taped and filled, level 3	23,571	SF	2.50	58,928
		<i>B2010.50 Parapets</i>				-
46	06 10 00	Timber stud framing, 2x6	2,140	SF	Incl Framing	Incl Framing
47	06 10 00	Plywood sheathing	2,140	SF	4.00	8,560
48	09 20 00	Stucco exterior wall	2,140	SF	9.00	19,260
		<i>B2010.60 Equipment Screens</i>				-
49	05 12 00	Roof screening - allowance	1	LS	15,000.00	15,000
50	09 20 00	Elevator over run structure - allowance	1	LS	Incl Framing	Incl Framing
51	09 20 00	Roof access structure - allowance	1	LS	Incl Framing	Incl Framing
		<i>B2010.90 Exterior Wall Opening Supplementary Components</i>				-
		B2020 Exterior Windows				-
		<i>B2020.30 Exterior Window Wall</i>				-
52	08 80 00	Glass windows at rooms & manager unit, 4-0x4-0 high	115	EA	400.00	46,000
53	08 80 00	Glass entry/ lobby/ mall	225	SF	50.00	11,250
		B2050 Exterior Doors and Grilles				-
		<i>B2050.10 Exterior Entrance Doors</i>				-
54	08 80 00	Main entrance door, single leaf	1	EA	5,000.00	5,000
		<i>B2050.20 Exterior Utility Doors</i>				-
55	08 10 00	Ground level exit doors, single leaf, hollow metal	7	EA	1,950.00	13,650
56	08 10 00	Roof access doors, single leaf, hollow metal	3	EA	1,950.00	5,850
		<i>B2050.30 Exterior Oversize Doors</i>				-
57	08 10 00	Manual roll up door at auto parking - Excl not required	-	EA	12,500.00	-
		B2070 Exterior Louvers and Vents				-
		<i>B2070.10 Exterior Louvers</i>				-
58	07 62 00	Wall louvers - allowance	5	FLR	2,500.00	12,500



Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
						-
		B2080 Exterior Wall Appurtenances				-
		<i>B2080.50 Exterior Balcony Walls and Railings</i>				-
59	05 70 00	Metal handrail at exterior decks	1	LS	NIC	NIC
						-
B20 Exterior Vertical Enclosures- Total						\$ 525,992
						-
		B30 Exterior Horizontal Enclosures				-
						-
		B3010 Roofing				-
		<i>B3010.50 Low-Slope Roofing</i>				-
		Roof coverings				-
60	07 55 51	Bitumen hot mop roof, including decking	8,456	SF	11.00	93,016
						-
		<i>B3010.90 Roofing Supplementary Components</i>				-
		Sheet metal, flashings and coping - allowance				-
61	07 62 00	Allowance	41,343	SF	0.50	20,672
						-
		B3020 Roof Appurtenances				-
		<i>B3020.70 Rainwater Management</i>				-
		Downpipes				-
62	22 00 00	Downpipes - allowance	490	LF	25.00	12,250
						-
		B3040 Traffic Bearing Horizontal Enclosures				-
		<i>B3040.30 Horizontal Waterproofing Membrane</i>				-
		Waterproofing Exterior Decks				-
63	07 55 51	Waterproofing, Exterior Decks	NIC	SF	NIC	NIC
						-
		Waterproofing				-
64	07 10 00	Restroom floors	5,999	SF	NIC	NIC
						-
B30 Exterior Horizontal Enclosures- Total						\$ 125,938
						-
		C Interiors				-
						-
		C10 Interior Construction				-
						-
		C1010 Interior Partitions				-
		<i>C1010.10 Interior Fixed Partitions</i>				-
		Interior Partitions - Guestroom Separation				-

Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
						-
65	06 10 00	Partition timber framing	14,967	SF	Incl Framing	Incl Framing
66	09 29 00	Drywall, 3 layers	14,967	SF	3.75	56,126
67	07 21 00	Insulation	14,967	SF	1.00	14,967
		Interior Partitions - Staircases				-
68	06 10 00	Partition timber framing	3,726	SF	Incl Framing	Incl Framing
69	09 29 00	Drywall, 4 layers	3,726	SF	5.00	18,630
70	07 21 00	Insulation	3,726	SF	1.00	3,726
		Interior Partitions - Bathrooms				-
71	06 10 00	Partition timber framing	11,268	SF	Incl Framing	Incl Framing
72	09 29 00	Drywall, 2 layers, wet walls	11,268	SF	2.00	22,536
73	07 21 00	Insulation	11,268	SF	1.00	11,268
		Interior Partitions - Closet				-
74	06 10 00	Partition timber framing	4,500	SF	Incl Framing	Incl Framing
75	09 29 00	Drywall, 2 layers	4,500	SF	2.50	11,250
76	07 21 00	Insulation	4,500	SF	1.00	4,500
		Interior Partitions - Corridor				-
77	06 10 00	Partition timber framing	14,391	SF	Incl Framing	Incl Framing
78	09 29 00	Drywall, 3 layers	14,391	SF	3.00	43,173
79	07 21 00	Insulation	14,391	SF	1.00	14,391
		Interior Partitions - Common Areas				-
80	06 10 00	Partition timber framing	774	SF	Incl Framing	Incl Framing
81	09 29 00	Drywall, 3 layers	774	SF	3.00	2,322
82	07 21 00	Insulation	774	SF	1.00	774
		Interior Partitions - Managers Unit				-
83	06 10 00	Partition timber framing	441	SF	Incl Framing	Incl Framing
84	09 29 00	Drywall, 3 layers	441	SF	3.75	1,654
85	07 21 00	Insulation	441	SF	1.00	441
		Interior Partitions - 3Hr Fire Wall				-
86	09 29 00	Drywall, metal stud, insulation, 3hr wall	165	LF	180.00	29,700
		Interior Partitions - Elevator Shaft Wall				-
68	09 29 00	Drywall, metal stud, insulation, shaft wall	184	LF	112.50	20,700



Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
		Interior Partitions - Miscellaneous Items				-
69	09 29 00	Corners	275	EA	50.00	13,750
70	09 29 00	Finished ends	125	EA	55.00	6,875
71	09 29 00	Framing for door opening, single	372	EA	50.00	18,600
72	09 29 00	Backing for restroom fixtures,	114	EA	75.00	8,550
73	09 29 00	Framing for FEC	5	FLR	1,500.00	7,500
		<i>C1010.20 Interior Glazed Partitions</i>				-
74	08 80 00	Interior glass	1	LS	NIC	NIC
		C1030 Interior Doors				-
		<i>C1030.10 Interior Swinging Doors</i>				-
75	08 10 00	Doors, single leaf, room entry, flush panel solid door	111	EA	600.00	66,600
76	08 10 00	Doors, single leaf, guestroom bathrooms, hollow core	111	EA	500.00	55,500
77	08 10 00	Doors, single leaf, closet, hollow core	111	EA	500.00	55,500
78	08 10 00	Doors, single leaf, common areas, flush panel mtl doors	19	EA	600.00	11,400
79	08 10 00	Doors, single leaf, managers unit, flush panel mtl door	6	EA	600.00	3,600
80	08 10 00	Doors, single leaf, staircase, flush panel mtl door	9	EA	550.00	4,950
81	08 10 00	Doors, double leaf, rated corridor	5	PR	2,500.00	12,500
		C1070 Suspended Ceiling Construction				-
		<i>C1070.10 Acoustical Suspended Ceilings</i>				-
		Acoustic ceilings				-
81	09 51 00	ACT, Room	1	LS	NIC	Drywall
		C1090 Interior Specialties				-
		<i>C1090.40 Toilet, Bath, and Laundry Accessories</i>				-
81	10 28 00	Toilet tissue dispenser	114	EA	50.00	5,700
82	10 28 00	Grab bars, water closet	114	EA	75.00	8,550
83	10 28 00	Grab bar, shower	112	EA	75.00	8,400
84	10 28 00	Towel rails	112	EA	75.00	8,400
85	10 28 00	Mirrors	114	EA	100.00	11,400
		<i>C1090.90 Other Interior Specialties</i>				-
86	06 10 00	Plywood, telephone backboards, 48"x48"	1	EA	500.00	500
C10 Interior Construction- Total						\$ 564,433

C20 Interior Finishes

Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
		C2010 Wall Finishes				-
		<i>C2010.10 Wall Finishes</i>				-
87	09 90 00	Wall finishes, typical room, paint	54,072	SF	0.60	32,443
88	09 90 00	Wall finishes, typical room bathroom, paint	24,592	SF	0.60	14,755
89	09 90 00	Wall finishes, typical room closet, paint	11,048	SF	0.60	6,629
90	09 90 00	Wall finishes, office, paint	360	SF	0.60	216
91	09 90 00	Wall finishes, mail room, paint	448	SF	0.60	269
92	09 90 00	Wall finishes, manager unit - bath, paint	248	SF	0.60	149
93	09 90 00	Wall finishes, manager unit - bedroom, paint	352	SF	0.60	211
94	09 90 00	Wall finishes, manager unit - closet, paint	264	SF	0.60	158
95	09 90 00	Wall finishes, manager unit -living/ kitchen etc, paint	984	SF	0.60	590
96	09 90 00	Wall finishes, common restrooms, paint	480	SF	0.60	288
97	09 90 00	Wall finishes, exit corridors, paint	696	SF	0.60	418
98	09 90 00	Wall finishes, auto parking, paint	616	SF	0.60	370
99	09 90 00	Wall finishes, corridors, paint	16,792	SF	0.60	10,075
100	09 90 00	Wall finishes, elevator core, paint	1,968	SF	NIC	NIC
101	09 90 00	Wall finishes, indoor open space, paint	2,440	SF	0.60	1,464
102	09 90 00	Wall finishes, staircases, paint	5,760	SF	0.60	3,456
103	09 90 00	Wall finishes, electrical room, paint	2,616	SF	0.60	1,570
104	09 90 00	Wall finishes, utility/ trash/ BOH, paint	368	SF	0.60	221
105	09 90 00	Wall finishes, bike areas, paint	1,768	SF	0.60	1,061
106	09 90 00	Paint doors	367	SF	50.00	18,350
		C2030 Flooring				-
		<i>C2030.10 Flooring Treatment</i>				-
		Concrete sealer				-
106	09 65 16	Floor finishes, typical room, vinyl	19,293	SF	3.50	67,527
107	09 65 16	Rubber base	6,759	LF	1.50	10,139
107	09 65 16	Floor finishes, typical room bathroom, vinyl	5,811	SF	3.50	20,337
108	09 65 16	Rubber base	3,074	LF	1.50	4,611
108	09 65 16	Floor finishes, typical room closet, vinyl	1,064	SF	3.50	3,723
109	09 65 16	Rubber base	1,381	LF	1.50	2,072
109	09 65 16	Floor finishes, office, vinyl	135	SF	3.50	474
110	09 65 16	Rubber base	45	LF	1.50	68
110	09 65 16	Floor finishes, mail room, vinyl	194	SF	3.50	680
111	09 65 16	Rubber base	56	LF	1.50	84
111	09 65 16	Floor finishes, manager unit - bath, vinyl	66	SF	3.50	229
112	09 65 16	Rubber base	31	LF	1.50	47
112	09 65 16	Floor finishes, manager unit - bedroom, vinyl	132	SF	3.50	462
113	09 65 16	Rubber base	44	LF	1.50	66

Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
						-
113	09 65 16	Floor finishes, manager unit - closet, vinyl	43	SF	3.50	149
114	09 65 16	Rubber base	33	LF	1.50	50
114	09 65 16	Floor finishes, manager unit -living/ kitchen etc, vinyl	485	SF	3.50	1,697
115	09 65 16	Base	123	LF	1.50	185
115	09 65 16	Floor finishes, common restrooms, vinyl	123	SF	3.50	432
116	09 65 16	Rubber base	60	LF	1.50	90
116	09 65 16	Floor finishes, exit corridors, vinyl	185	SF	3.50	646
117	09 65 16	Rubber base	87	LF	1.50	131
117	09 65 16	Floor finishes, auto parking, sealed concrete	333	SF	1.00	333
118	09 65 16	Rubber base	77	LF	1.50	116
118	09 65 16	Floor finishes, corridors, vinyl	6,060	SF	3.50	21,208
119	09 65 16	Rubber base	2,099	LF	1.50	3,149
119	09 65 16	Floor finishes, elevator core	678	SF	NIC	NIC
120	09 65 16	Rubber base	246	LF	NIC	NIC
120	09 65 16	Floor finishes, indoor open space, vinyl	1,891	SF	3.50	6,620
121	09 65 16	Rubber base	305	LF	1.50	458
121	09 65 16	Floor finishes, staircases, vinyl	2,596	SF	3.50	9,085
122	09 65 16	Rubber base	720	LF	1.50	1,080
122	09 65 16	Floor finishes, electrical room, sealed concrete	731	SF	1.00	731
123	09 65 16	Rubber base	327	LF	1.50	491
123	09 65 16	Floor finishes, utility/ trash/ BOH, sealed concrete	142	SF	1.00	142
124	09 65 16	Rubber base	46	LF	1.50	69
124	09 65 16	Floor finishes, bike areas, sealed concrete	1,380	SF	1.00	1,380
125	09 65 16	Rubber base	221	LF	1.50	332
126	09 80 00	Acoustic underlay - common area floors	14,450	SF	3.00	43,351
						-
		C2050 Ceiling Finishes				-
		<i>C2050.10 Plaster and Gypsum Board Finish (Floor 1 - 4)</i>				-
127	09 29 00	Ceiling finishes, typical room, drywall 1 layer, furring	14,775	SF	2.50	36,937
128	09 29 00	Ceiling finishes, typical room bathroom, drywall 1 layer, furring	4,450	SF	2.50	11,125
129	09 29 00	Ceiling finishes, typical room closet, drywall 1 layer, furring	815	SF	2.50	2,037
130	09 29 00	Ceiling finishes, office, drywall 1 layer, furring	135	SF	2.50	339
131	09 29 00	Ceiling finishes, mail room, drywall 1 layer, furring	194	SF	2.50	486
132	09 29 00	Ceiling finishes, manager unit - bath, drywall 1 layer, furring	66	SF	2.50	164
133	09 29 00	Ceiling finishes, manager unit - bedroom, drywall 1 layer, furring	132	SF	2.50	330
134	09 29 00	Ceiling finishes, manager unit - closet, drywall 1 layer, furring	43	SF	2.50	106
135	09 29 00	Ceiling finishes, manager unit - living/ kitchen etc, drywall 1 layer, furring	485	SF	2.50	1,212
136	09 29 00	Ceiling finishes, common restrooms, drywall, 1 layer, furring	123	SF	2.50	308
137	09 29 00	Ceiling finishes, exit corridors, drywall, 1 layer, furring	185	SF	2.50	461
138	09 29 00	Ceiling finishes, auto parking, drywall, 1 layer, furring	333	SF	NIC Open	NIC Open



Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
						-
139	09 29 00	Ceiling finishes, corridors, drywall, 1 layer, furring	4,760	SF	2.50	11,900
140	09 29 00	Ceiling finishes, elevator core, drywall 1 layer, furring	575	SF	NIC Open	NIC Open
141	09 29 00	Ceiling finishes, indoor open space, drywall 1 layer, furring	1,891	SF	2.50	4,728
142	09 29 00	Ceiling finishes, staircases, drywall, 1 layer, furring	2,161	SF	NIC Open	NIC Open
143	09 29 00	Ceiling finishes, electrical room, drywall 1 layer, furring	650	SF	NIC Open	NIC Open
144	09 29 00	Ceiling finishes, utility/ trash/ BOH, drywall 1 layer, furring	142	SF	NIC Open	NIC Open
145	09 29 00	Ceiling finishes, bike areas, drywall 1 layer, furring	1,380	SF	2.50	3,451
		<i>C2050.10 Plaster and Gypsum Board Finish (Floor 5)</i>				-
146	09 29 00	Ceiling finishes, typical room, drywall 2 layers, furring, stud fra	4,519	SF	5.75	25,983
147	09 29 00	Ceiling finishes, typical Room bathroom, drywall 2 layers, furri	1,361	SF	5.75	7,824
148	09 29 00	Ceiling finishes, typical room closet, drywall 2 layers, furring, s	249	SF	5.75	1,432
149	09 29 00	Ceiling finishes, corridors, drywall 2 layers, furring, stud framin	1,299	SF	5.75	7,472
150	09 29 00	Ceiling finishes, elevator core, drywall 2 layer, furring, stud fra	103	SF	5.75	590
151	09 29 00	Ceiling finishes, staircases, drywall 2 layer, furring, stud framin	435	SF	5.75	2,499
152	09 29 00	Ceiling finishes, electrical room, drywall 2 layers, furring, stud :	81	SF	5.75	465
153	07 21 00	Insulation	8,046	SF	1.00	8,046
		<i>C2050.10 Plaster and Gypsum Board Finish (Floor 5)</i>				-
154	09 29 00	Ceiling access panels	5	FLR	1,250.00	6,250
155	09 29 00	Frame for hvac openings	5	FLR	1,250.00	6,250
156	09 29 00	Pocket for mechoshades	485	LF	NIC - Frame	NIC - Frame
157	09 29 00	Soffits - allowance	111	RM	NIC	NIC
		<i>C2050.70 Ceiling Painting and Coating</i>				-
158	09 90 00	Paint exposed deck	3,861	SF	1.85	7,143
159	09 90 00	Paint drywall ceiling	37,480	SF	0.60	22,488
		C20 Interior Finishes- Total				\$ 465,156
		D Services				-
		D10 Conveying				-
		D1010 Vertical Conveying Systems				-
		<i>D1010.10 Elevators</i>				-
160	14 20 00	Elevator, 5 stop	1	EA	175,000.00	175,000
161	14 20 00	Elevator pit access ladder	1	EA	750.00	750
162	14 20 00	Elevator sills	5	EA	1,250.00	6,250
163	14 20 00	Elevator guide rails	196	LF	50.00	9,800

Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
						-
D10 Conveying- Total						\$ 191,800
D20 Plumbing						
D2010 Domestic Water Distribution						
<i>D2010.20 Domestic Water Equipment</i>						
Kitchen equipment and local connection						
164	22 00 00	Kitchen Sink - Managers Room	1	EA	650.00	650
165	22 00 00	Kitchen Sink - Rooms	111	EA	450.00	49,950
166	22 00 00	Garbage Disposal - Managers Room	1	EA	250.00	250
Sanitary fixtures and local connection pipework						
167	22 00 00	Water closet	114	EA	400.00	45,600
168	22 00 00	Wash hand basin	114	EA	500.00	57,000
169	22 00 00	Showers & enclosures	111	EA	1,350.00	149,850
170	22 00 00	Bath tub	1	EA	2,000.00	2,000
171	22 00 00	Floor drain restrooms	114	EA	NIC	NIC
<i>D2010.40 Domestic Water Piping</i>						
Distribution						
172	22 00 00	Water, waste, plant and equipment	41,343	SF	7.00	289,401
D2020 Sanitary Drainage						
<i>D2020.30 Sanitary Sewerage Piping</i>						
173	22 00 00	Drainage pipework, below ground & trench	1	LS	7,500.00	7,500
174	22 00 00	Existing sewer POC	1	EA	1,500.00	1,500
D2030 Building Support Plumbing Systems						
<i>D2030.20 Storm water Drainage Piping</i>						
175	22 00 00	Area drains low roofs	3	EA	500.00	1,500
176	22 00 00	Area drains roof	8	EA	500.00	4,000
D2060 Process Support Plumbing Systems						
<i>D2060.30 Gas Systems</i>						
177	22 00 00	Gas pipework - allowance	1	LS	7,500.00	7,500
Miscellaneous Plumbing						
178	22 00 00	Testing and sterilization	1	LS	1,500.00	1,500
179	22 00 00	Submittals, permits etc	1	LS	2,500.00	2,500



Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
D20 Plumbing- Total						
						\$ 620,701
D30 HVAC						
D3050 Facility HVAC Distribution Systems						
<i>D3050.50 HVAC Air Distribution Equipment</i>						
180	23 00 00	Package roof top unit, common areas only - excl not req	1	EA	-	-
Distribution common areas						
181	23 00 00	Excl not required per code	14,450	EA	-	-
Air handling equipment						
182	23 00 00	Air Conditioning Units (Thro Window)	112	EA	700.00	78,400
183	23 00 00	VAV Box, Entry/ Lobby/ Mall	2	EA	NIC Const Vol	NIC Const Vol
184	23 00 00	Controls for VAV units	2	EA	NIC Const Vol	NIC Const Vol
Insulation						
183	23 00 00	Insulation, new ductwork (common areas)	14,450	SF	0.50	7,225
<i>D3050.90 Facility Distribution Systems Supplementary Components</i>						
Miscellaneous HVAC						
184	23 00 00	Testing and balancing	1	LS	1,500.00	1,500
185	23 00 00	Shop drawings, submittals & permits	1	LS	2,500.00	2,500
D3060 Ventilation						
<i>D3060.20 Return Air</i>						
186	23 00 00	Exhaust fans, restrooms/ bathrooms	114	EA	850.00	96,900
187	23 00 00	Smoke Exhaust Fans, Common Area Floors	10	EA	2,000.00	20,000
188	23 00 00	Exhaust Fans, Elevator Room & Utility/ Trash Area	2	EA	1,000.00	2,000
D30 HVAC- Total						\$ 208,525
D40 Fire Protection						
D4010 Fire Suppression						
<i>D4010.90 Fire Suppression Supplementary Components</i>						
Fire Protection						
189	21 00 00	Riser pipework and main distribution	1	LS	5,500.00	5,500
190	21 00 00	Sprinklers	41,343	SF	2.00	82,686



Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
						-
D40 Fire Protection- Total						\$ 88,186
D50 Electrical						-
D5020 Electrical Service and Distribution						-
<i>D5020.30 Power Distribution</i>						-
Main service and distribution						-
191	26 00 00	Main service panel	1	LS	50,000.00	50,000
192	26 00 00	Sub panels & distribution (Common Areas)	14,450	SF	1.50	21,675
193	26 00 00	Panels, 120/240, In Unit	112	EA	500.00	56,000
Power monitoring and metering, connected to BAS						-
194	26 00 00	Metering - Allowance	1	LS	3,000.00	3,000
<i>D5020.90 Electrical Service and Distribution Supplementary Components</i>						-
Temporary lighting & power						-
195	26 00 00	Temp lighting & power	1	LS	General Req	General Rq
D5030 General Purpose Electrical Power						-
<i>D5030.50 Wiring Devices</i>						-
Machine and equipment power						-
196	26 00 00	Power HVAC equipment	112	EA	300.00	33,600
197	26 00 00	Power elevator	1	LS	2,500.00	2,500
User convenience power						-
198	26 00 00	Power - duplex outlet rooms	444	EA	80.00	35,520
199	26 00 00	Power - gfi outlets rooms	444	EA	120.00	53,280
200	26 00 00	Power - duplex outlets managers office	13	EA	80.00	1,040
201	26 00 00	Power - gfi outlets managers office	3	EA	120.00	360
202	26 00 00	Power - common areas	14,450	EA	2.00	28,901
D5040 Lighting						-
<i>D5040.10 Lighting Control</i>						-
203	26 00 00	Lighting controls - standard switches	41,343	EA	2.00	82,686
<i>D5040.50 Lighting Fixtures</i>						-
204	26 00 00	Light Fixtures, Room	19,293	SF	3.00	57,880
205	26 00 00	Light Fixtures, Guestroom Bathrooms	5,811	SF	4.00	23,242
206	26 00 00	Light Fixtures, Closet	1,064	SF	NIC	NIC
207	26 00 00	Light Fixtures, Office	135	SF	3.00	406



Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
						-
208	26 00 00	Light Fixtures, Mail Room	194	SF	3.00	583
209	26 00 00	Light Fixtures, Managers Unit - Bath	66	SF	3.00	197
210	26 00 00	Light Fixtures, Managers Unit - Bedroom	132	SF	NIC	NIC
211	26 00 00	Light Fixtures, Managers Unit - Closet	43	SF	2.75	117
212	26 00 00	Light Fixtures, Managers Unit - Living/ Kitchen	485	SF	2.75	1,333
210	26 00 00	Light Fixtures, Common Restrooms	123	SF	2.75	339
211	26 00 00	Light Fixtures, Auto Parking	333	SF	2.75	916
212	26 00 00	Light Fixtures, Corridors	6,060	SF	4.00	24,238
213	26 00 00	Light Fixtures, Elevator Core	863	SF	NIC	NIC
214	26 00 00	Light Fixtures, Indoor Open Space	1,891	SF	3.00	5,674
215	26 00 00	Light Fixtures, Staircases	2,596	SF	3.00	7,787
216	26 00 00	Light Fixtures, Electrical Room	731	SF	2.75	2,009
217	26 00 00	Light Fixtures, Utility/ Trash/ BOH	142	SF	2.75	390
218	26 00 00	Light Fixtures, Bike Area	1,380	SF	2.75	3,796
218	26 00 00	Exit Signs	60	EA	450.00	27,000
						-
		D5080 Miscellaneous Electrical Systems				-
		<i>D5080.90 Miscellaneous Electrical Systems Supplementary Components</i>				-
		Low voltage conduit & back box				-
219	26 00 00	Telephone/data outlets - back box & conduit only	41,343	SF	0.25	10,336
220	26 00 00	Fire alarm - conduit	41,343	SF	0.25	10,336
221	26 00 00	Audio/visual & sound systems - conduit only	41,343	SF	NIC	NIC
222	26 00 00	Security systems - conduit only	41,343	SF	0.20	8,269
						-
		Electrical miscellaneous				-
223	26 00 00	Shop drawings, submittals, permits etc	1	LS	3,000.00	3,000
						-
D50 Electrical- Total						\$ 556,411
						-
D70 Electronic Safety and Security						
						-
		D7050 Detection and Alarm				-
		Alarm and security				-
224	28 31 00	Fire alarm systems - cabling	41,343	SF	1.75	72,350
						-
D70 Electronic Safety and Security- Total						\$ 72,350
						-
E Equipment & Furnishings						
						-
E20 Furnishings						



Main Building - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
						-
		E2010 Fixed Furnishings				-
		<i>E2010.20 Window Treatments</i>				-
225	12 20 00	Vertical blinds - Rooms	485	LF	Furniture	<i>Furniture</i>
						-
		<i>E2010.30 Casework</i>				-
		Millwork, cabinets and countertops				-
226	06 40 00	Restroom vanities/ sub tops/ splash, rooms	111	EA	300.00	33,300
227	06 40 00	Kitchen plam lower cabinets & counters/ splash 7-0x2-0, rooms	111	EA	1,400.00	155,400
228	06 40 00	Manager unit - kitchen units	1	LS	5,400.00	5,400
229	06 40 00	Manager unit -bathroom units	1	LS	600.00	600
						-
		<i>E2050.40 Accessories</i>				-
		Presentation/ display boards, insigna and graphics				-
230	10 14 00	Interior code and directional signage	5	FLR	1,500.00	7,500
						-
		Amenities and convenience items				-
231	10 44 13	Fire extinguisher cabinets	5	FLR	1,500.00	7,500
232	10 44 13	Mail boxes	112	EA	Furniture	<i>Furniture</i>
233	10 44 13	Door chimes	112	EA	75.00	8,400
234	10 44 13	Bike racks	124	EA	See Site Work	<i>See Site Work</i>
						-
		E2050 Movable Furnishings				-
		<i>E2050.90 Other Appliances</i>				-
		Appliances - Rooms				-
235	11 31 00	Microwave - Rooms	111	EA	75.00	8,325
236	11 31 00	Undercounted refrigerator - Rooms	111	EA	150.00	16,650
237	11 31 00	Full height refrigerator - Manager	1	EA	1,500.00	1,500
238	11 31 00	Microwave / ventilation hood- Manager	1	EA	250.00	250
239	11 31 00	Dishwasher	1	EA	500.00	500
240	11 31 00	Range	1	EA	1,000.00	1,000
						-
E20 Furnishings- Total						\$ 246,325



Site Work - Areas

Site Areas	Sub-Total	Total
Site Areas		
Total Area	12,000 SF	
Ddt - Building Footprint	(8,396) SF	
Total Area	GFA	3,604



Site Work - Summary

Sys	Description		Total	\$/SF	%
F30	Demolition	\$	-	\$ -	0%
F	Special Construction	\$	-	\$ -	0%
G10	Site Preparation	\$	7,515	\$ 2.09	6%
G20	Site Improvements	\$	63,566	\$ 17.64	54%
G30	Liquid and Gas Site Utilities	\$	20,000	\$ 5.55	17%
G40	Electrical Site Improvements	\$	15,000	\$ 4.16	13%
G	Sitework	\$	106,081	\$ 29.44	90%
SUB-TOTAL - CONSTRUCTION		\$	106,081	\$ 29.44	90%
Z	General Requirements	1.00%	\$ 1,061	\$ 0.29	1%
Z	General Conditions	6.75%	\$ 7,232	\$ 2.01	6%
Z	Fee	2.00%	\$ 2,287	\$ 0.63	2%
Z	Insurance	1.00%	\$ 1,167	\$ 0.32	1%
Z	Bond	0.00%	NIC	NIC	0%
SUB-TOTAL - INCLUDING GENERAL CONDITIONS		\$	117,828	\$ 32.69	100%
Z	Contingency for Design Development	0.00%	NIC	NIC	0%
TOTAL PROJECT COST		\$	117,828	\$ 32.69	100%

Site Work - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
F Special Construction						
F30 Demolition						
F3010 Structure Demolition						
<i>F3010.10 Building Demolition</i>						
Demolition						
1	02 41 00	Existing buildings	1	LS	NIC	NIC
2	02 41 00	MEP safe off	1	LS	NIC	NIC
F30 Demolition- Total						\$ -
G Sitework						
G10 Site Preparation						
G1010 Site Clearing						
<i>G1010.10 Clearing and Grubbing</i>						
3	32 30 00	Clearing and grubbing	12,000	SF	NIC	NIC
G1070 Site Earthwork						
<i>G1070.35 Erosion and Sedimentation Controls</i>						
3	32 30 00	Install gravel bags per 1/C-006	503	LF	5.00	2,515
3	32 30 00	Stabilized construction entrance	300	SF	10.00	3,000
4	32 30 00	Concrete wash out area	1	EA	2,000.00	2,000
G10 Site Preparation- Total						\$ 7,515
G20 Site Improvements						
G2030 Pedestrian Plazas and Walkways						
<i>G2030.10 Pedestrian Pavement</i>						
5	32 30 00	Courtyard - 25% Paving	535	SF	15.00	8,029
6	32 30 00	Perimeter - paving repairs (asphalt)	1,506	SF	6.50	9,789
7	32 30 00	Parking stall, including striping	400	SF	Interior	Interior
8	32 30 00	Install wheel stop	1	EA	Interior	Interior
9	32 30 00	Transformer pad	205	SF	25.00	5,125
G2060 Site Development						
<i>G2060.25 Site Furnishings</i>						

Site Work - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
						-
10	32 30 00	Trash receptacle	1	LS	1,500.00	1,500
11	32 30 00	Bike rack - allowance	124	EA	250.00	31,000
12	32 30 00	Benches etc - allowance	1	LS	FF&E	FF&E
						-
		<i>G2060.30 Exterior Signage</i>				-
13	32 30 00	Exterior code signage - allowance	1	LS	1,500.00	1,500
						-
		G2080 Landscaping				-
		<i>G2080.10 Planting Irrigation</i>				-
14	32 90 00	Irrigation - allowance	1	LS	1,000.00	1,000
						-
		<i>G2080.30 Plants</i>				-
15	32 90 00	Courtyard planting area (75%)	1,406	SF	4.00	5,623
16	32 90 00	Trees 24" box	1	LS	NIC	NIC
						-
G20 Site Improvements- Total						\$ 63,566
G30 Liquid and Gas Site Utilities						
						-
		G3010 Water Utilities				-
		<i>G3010.10 Site Domestic Water Distribution</i>				-
17	33 00 00	Water utility connection	1	LS	5,000.00	5,000
						-
		<i>G3010.30 Site Fire Protection Water Distribution</i>				-
18	33 00 00	Fire water utility connection	1	LS	5,000.00	5,000
						-
		G3020 Sanitary Sewerage Utilities				-
		<i>G3020.10 Sanitary Sewerage Utility Connection</i>				-
19	33 00 00	Sewer / storm water utility connection	1	LS	2,500.00	2,500
						-
		G3030 Storm Drainage Utilities				-
		<i>G3030.10 Storm Drainage Utility Connection</i>				-
20	33 00 00	Storm drainage run off / connection - allowance	1	LS	5,000.00	5,000
						-
		G3060 Site Fuel Distribution				-
		<i>G3060.10 Site Gas Distribution</i>				-
21	33 00 00	Gas utility connection	1	LS	2,500.00	2,500
						-
G30 Liquid and Gas Site Utilities- Total						\$ 20,000



Site Work - Detail

Sys	CSI	Description	Quantity	Unit	Rate	Total
G40 Electrical Site Improvements						
		G4010 Site Electric Distribution Systems				-
		<i>G4010.10 Electrical Utility Services</i>				-
22	33 00 00	Electrical - utility connection & underground conduit	1	LS	5,000.00	5,000
23	33 00 00	Low voltage - utility connection	1	LS	2,500.00	2,500
		G4050 Site Lighting				-
		<i>G4050.10 Area Lighting</i>				-
24	33 00 00	Site lighting - allowance	1	LS	7,500.00	7,500
		G40 Electrical Site Improvements- Total				\$ 15,000

**APPENDIX D:
DRAFT REPLACEMENT UNIT LAYOUT**

theMORRISON, LOS ANGELES

SRO REPLACEMENT EXHIBIT

CLIENT
Five Chairs
1605 Cahuenga Blvd.
Hollywood, California

10.07.16 Project Exhibit

REV	DATE	ISSUE
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theMORRISON
SRO REPLACEMENT
HOUSING

1246 S. Hope Street
Los Angeles, CA 90015

COVER

PROJECT #: 15200.000
DATE: 16-10-12
SCALE: As Indicated

G0.00

PROJECT DESCRIPTION

ZONING				
EXISTING	[Q]R5-2D			
PROPOSED	[Q]R5-2D			
CONSTRUCTION				
BUILDING TYPE	TYPE IIIA	Sprinklered		
LOT/BUILDABLE AREA				
APN TBD	Square feet	Acres		
Buildable Area	12,000 SF	0.28 AC	G.D.H.I. Buildable Area = Lot Area SEC 12.22.C.3(b)	
Lot Area	12,000 SF	0.28 AC		
Setbacks	Front	0 FT	G.D.H.I. SEC 12.22.C.3 (a)	
	Side	0 FT		
	Rear	0 FT		
DENSITY				
PERMITTED	Unlimited		G.D.H.I. SEC 12.22.C.3 (c)	
PROPOSED	Unit Type	# of Units		
	SRO	111		
	1-Bed	1		
TOTAL		112		
FLOOR AREA				
PERMITTED F.A.R.	FAR	Floor Area	G.D.H.I. Buildable Area = Lot Area SEC 12.22.C.3(b)	
	6:1	72,000 SF		
PROPOSED F.A.R.	2.88:1	34,597 SF		
FLOOR AREA	5th Level	7,276 SF		
	4th Level	7,276 SF		
	3rd Level	7,276 SF		
	2nd Level	7,276 SF		
	Ground Level	5,493 SF		
	Total	34,597 SF		
SRO / 1-BED AREA		25,185 SF		
HORIZONTAL CIRCULATION		7,610 SF		
OPEN SPACE		1,802 SF		
SRO UNIT	Floor Area	# Units	Total Area	
MANAGER UNIT	220 SF	111	24,420 SF	
	676 SF	1	676 SF	
BUILDING HEIGHT				
Permitted	Height (feet)	Height (stories)	Unlimited Height SEC 12.21.1	
Proposed	50'	5 Stories		
OPEN SPACE				
REQUIRED	Dwelling Unit	SF /D.U	SF Required	
= 3 Habitable rooms	1	125 SF	125 SF	
< 3 Habitable rooms	111	100 SF	11,100 SF	
TOTAL	112		11,225 SF	
ALLOWED REDUCTION		50%	5,613 SF	G.D.H.I. 50% Reduction SEC 12.22.A.29.(C) (2)
PROPOSED		Indoor	1,802 SF	
		Outdoor	3,811 SF	
			5,613 SF	G.D.H.I. Combined Private & Common SEC 12.22.C.3(d)
VEHICULAR PARKING				
REQUIRED	Unit Type	# of Units	Stalls/Unit	Total Required
Residential	SRO	111	0	0
	1-Bed	1	1	1
PROPOSED				1
				G.D.H.I. Not Req. > 50% M.I. SEC 12.22.A.29 (C)(3)
				G.D.H.I. SEC 12.22.A.29 (c)(4)
BICYCLE PARKING				
REQUIRED	Short Term	Long Term	Total	
Residential	(1 per 10 units)	(1 per unit)	124	Bicycle Parking SEC 12.21. A.16 (a)(1)
	11	112		

SHEET INDEX

SH. NO.	SHEET TITLE
GENERAL	
G0.00	COVER
G0.01	PROJECT INFORMATION AND SHEET INDEX
ARCHITECTURAL	
A1.01	GROUND FLOOR PLAN – SITE PLAN
A1.02	TYPICAL FLOOR PLAN
A1.03	ROOF PLAN
A2.01	BUILDING SECTION
A2.02	BUILDING SECTION
A3.01	BUILDING ELEVATION
A3.02	BUILDING ELEVATION
A3.03	BUILDING ELEVATION
A3.04	BUILDING ELEVATION
A4.01	ENLARGED UNIT PLANS
A5.01	EXTERIOR WALL ASSEMBLY / FLOOR-CEILING-ROOF ASSEMBLY
A5.02	PARTITION TYPES
A5.03	OUTLINE SPECIFICATIONS

CLIENT
Five Chairs
1605 Cahuenga Blvd.
Hollywood, California

10.07.16 Project Exhibit
REV DATE ISSUE

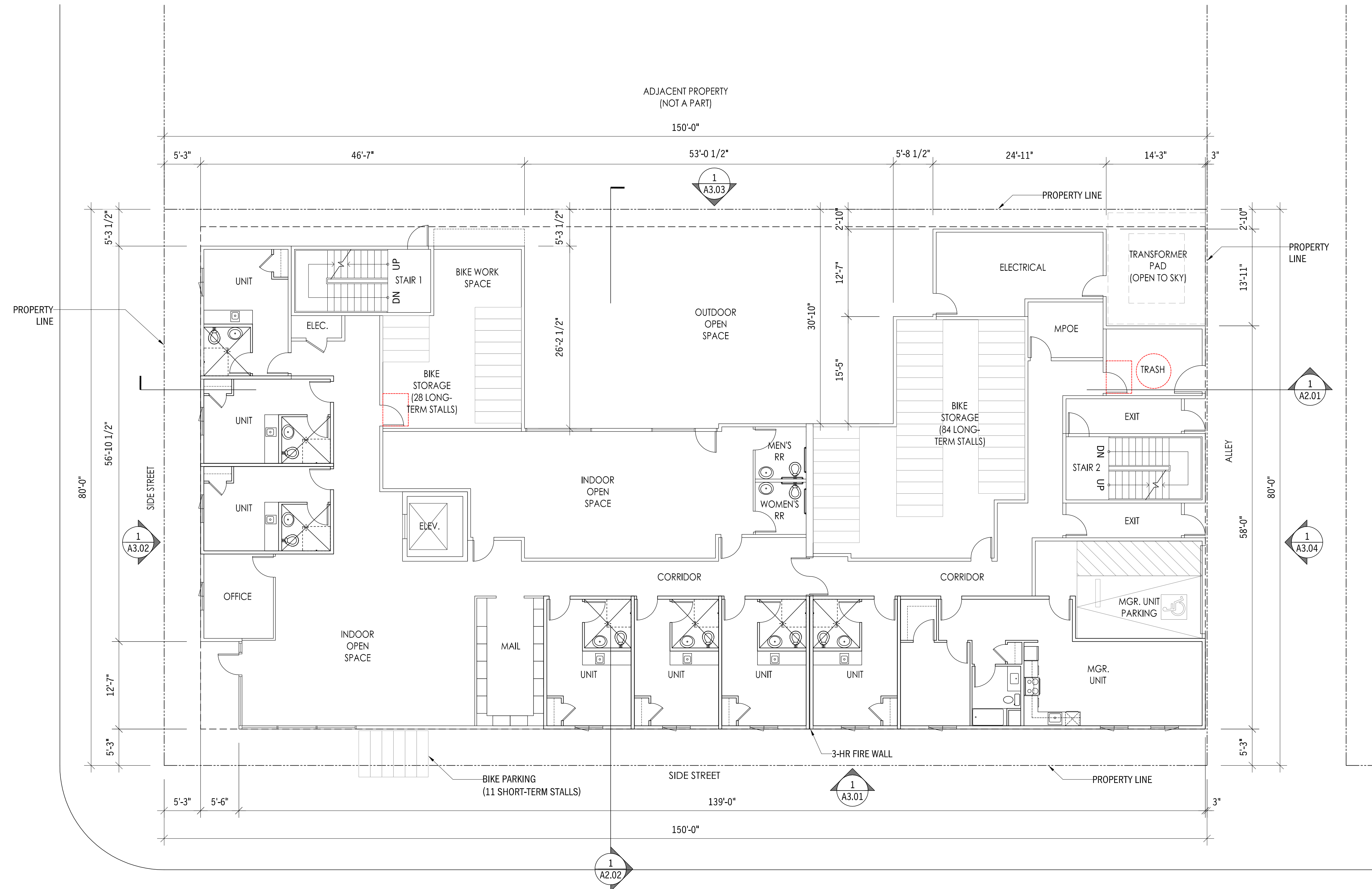
theMORRISON
SRO REPLACEMENT
HOUSING

1246 S. Hope Street
Los Angeles, CA 90015

PROJECT INFORMATION

PROJECT #: 15200.000
DATE: 16-10-12
SCALE: As Indicated

G0.01



GROUND FLOOR - SITE PLAN

SCALE: 1/8" = 1'-0"

1

CLIENT
Five Chairs
1605 Cahuenga Blvd.
Hollywood, California

10.07.16 Project Exhibit
REV DATE ISSUE

**theMORRISON
SRO REPLACEMENT
HOUSING**

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Los Angeles, CA 90015

**GROUND FLOOR
SITE PLAN**

PROJECT #: 15200.000
DATE: 16-10-12
SCALE: 1" = 8'-0"

A1.01

WALL LEGEND

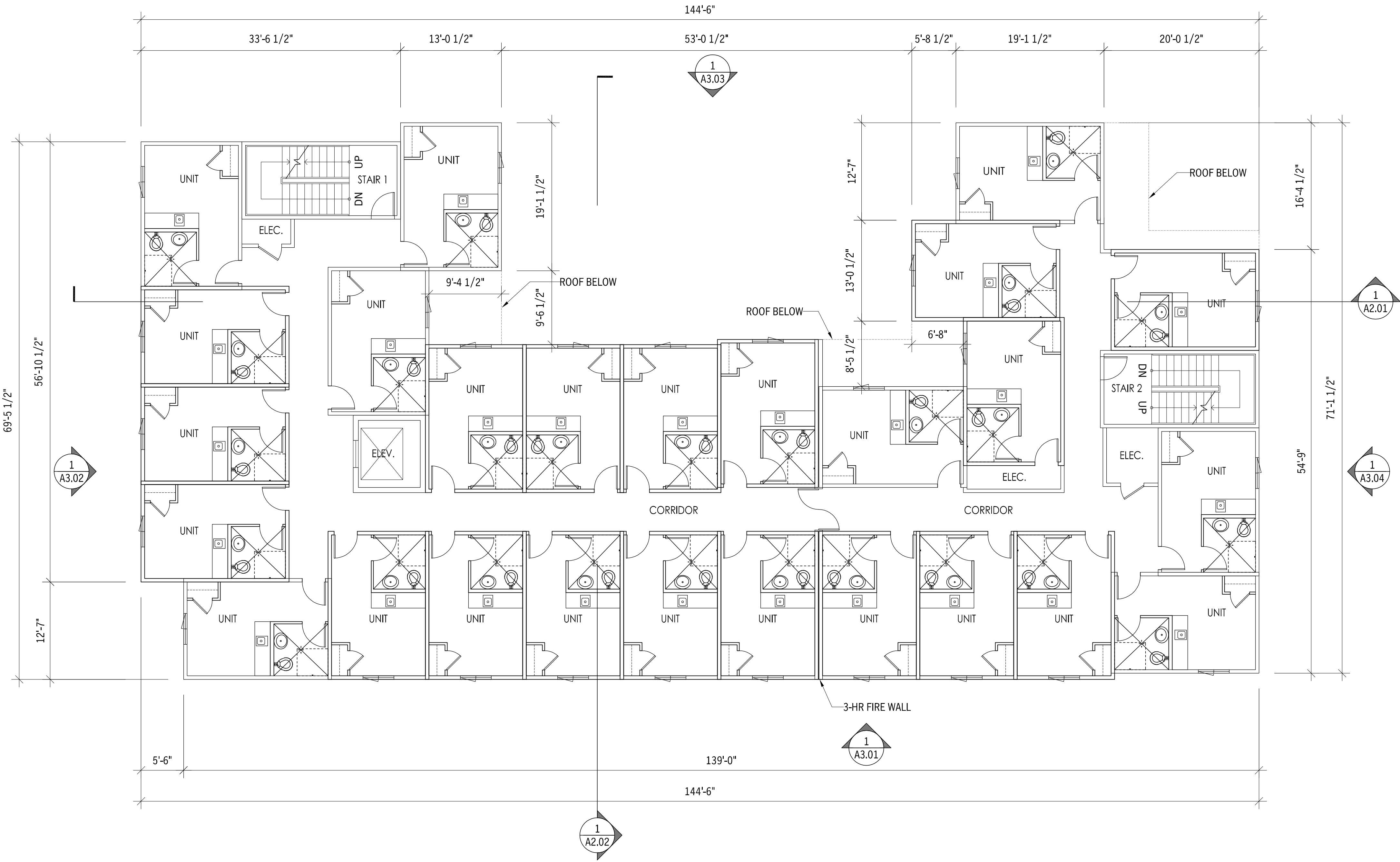
- (E) WALL TO REMAIN
- (D) EXISTING TO BE REMOVED
- (N) NEW WALL

KEYNOTES

- (8.01) -
- (2.01) -
- (9.01) -
- (3.01) -
- (10.01) -
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- (11.01) -
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- (13.01) -
- (7.01) -

SHEET NOTES

- A ALL INTERIOR DIMENSIONS ARE TO FACE OF WALL FINISH. E
- B ALL EXTERIOR WALLS ARE DIMENSIONED FROM FACE OF WALL FINISH. F
- C G
- D H



TYPICAL FLOOR PLAN
SCALE: 1/8" = 1'-0"

1

WALL LEGEND

- (E) WALL TO REMAIN
- (D) EXISTING TO BE REMOVED
- (N) NEW WALL

KEYNOTES

- (8.01) -
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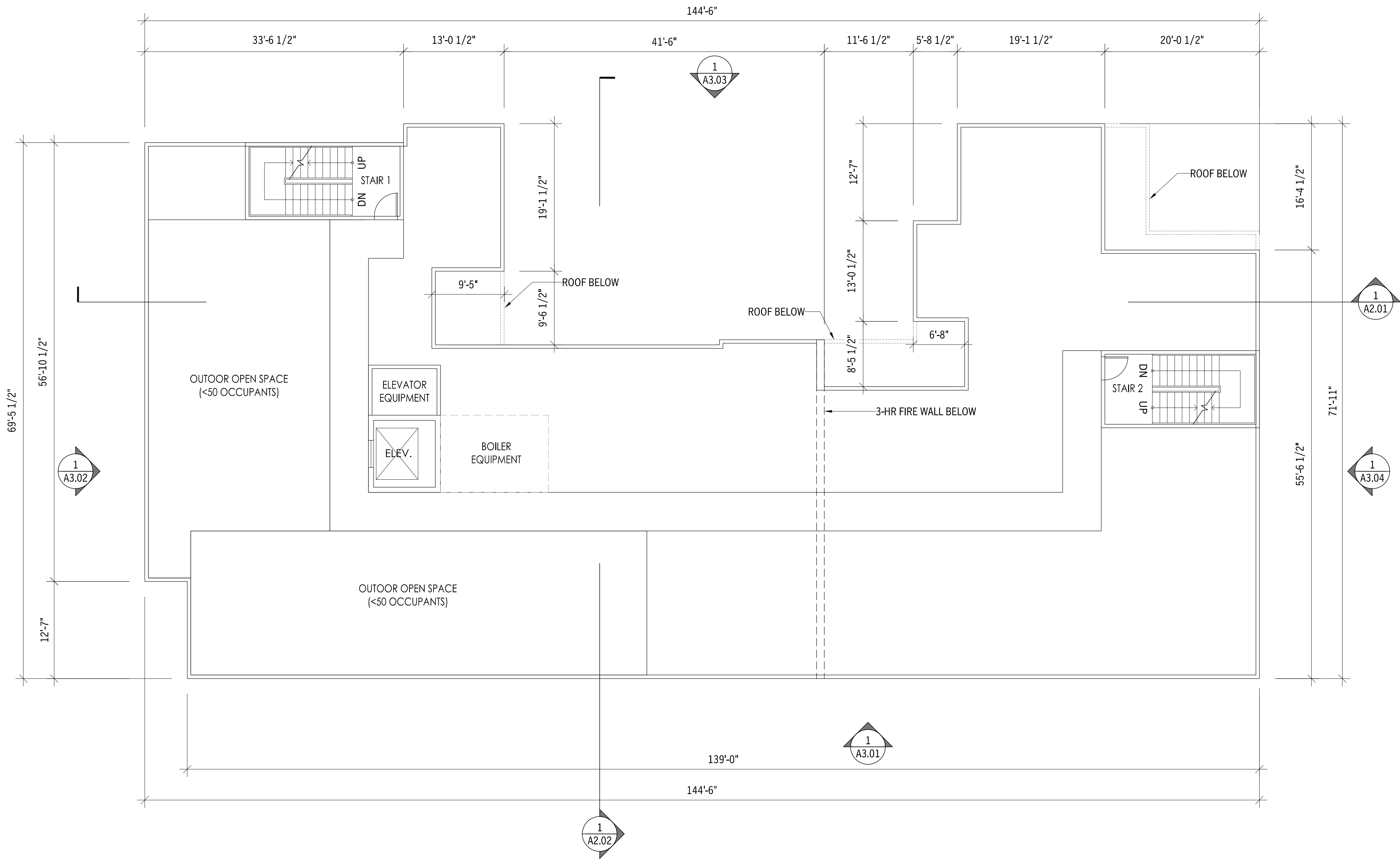
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TYPICAL FLOOR

PROJECT #: 15200.000
DATE: 16-10-12
SCALE: 1"=8'-0"

A1.02



ROOF PLAN
SCALE: 1/8" = 1'-0"

1

WALL LEGEND

- (E) WALL TO REMAIN
- (D) EXISTING TO BE REMOVED
- (N) NEW WALL

KEYNOTES

- (8.01) -
- (2.01) -
- (9.01) -
- (3.01) -
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SHEET NOTES

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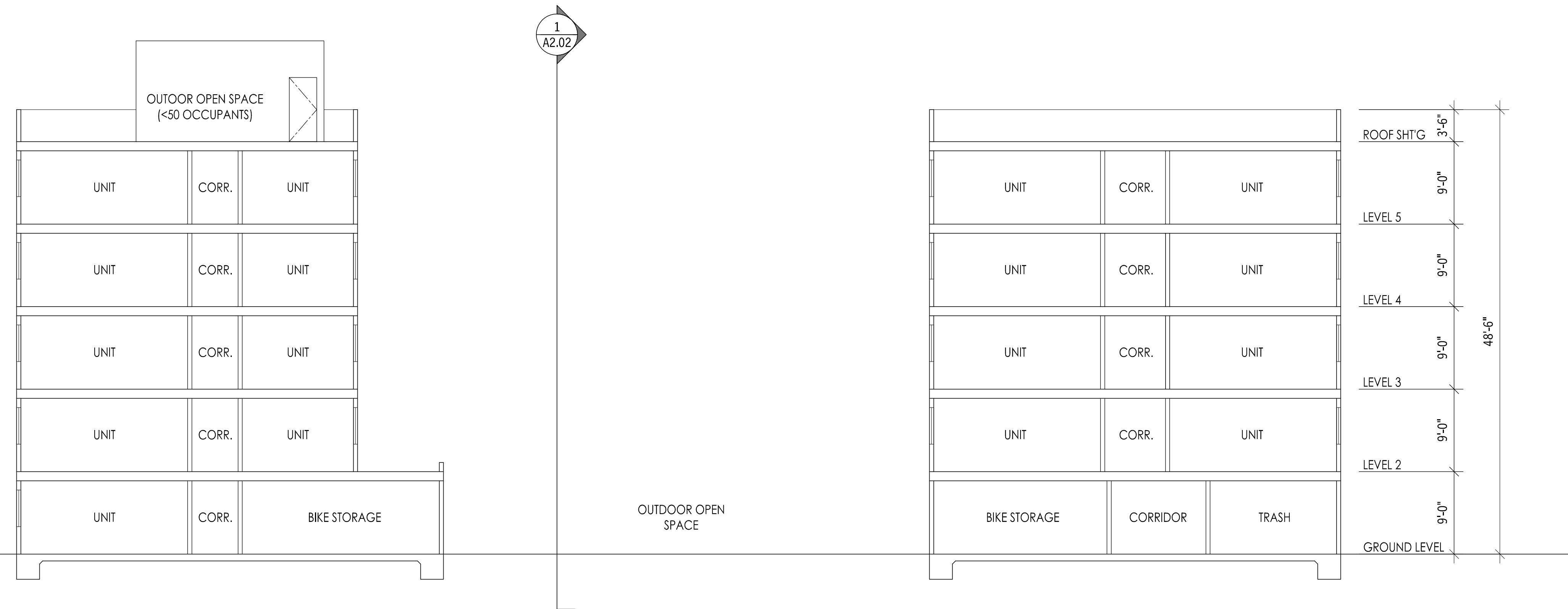
1246 S. Hope Street
Los Angeles, CA 90015

ROOF PLAN

PROJECT #: 15200.000
DATE: 16-10-12
SCALE: 1"=8'-0"

A1.03

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Hollywood, California



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BUILDING SECTION
SCALE: 1/8" = 1'-0"

1

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Los Angeles, CA 90015

KEYNOTES

- | | |
|--|--|
| (GL-XX) GLAZING - SEE ID SHEETS
FINISH/TYPE | (ST-XX) STONE - SEE ID SHEETS
FINISH/TYPE |
| (HD-XX) HARDWARE - SEE ID SHEETS
FINISH/TYPE | (TL-XX) TILE - SEE ID SHEETS
FINISH/TYPE |
| (LT-XX) LIGHT FIXTURE - SEE ID
SHEETS FINISH/TYPE | |
| (MT-XX) METAL - SEE ID SHEETS
FINISH/TYPE | |
| (PT-XX) PAINT - SEE ID SHEETS
FINISH/TYPE | |

SHEET NOTES

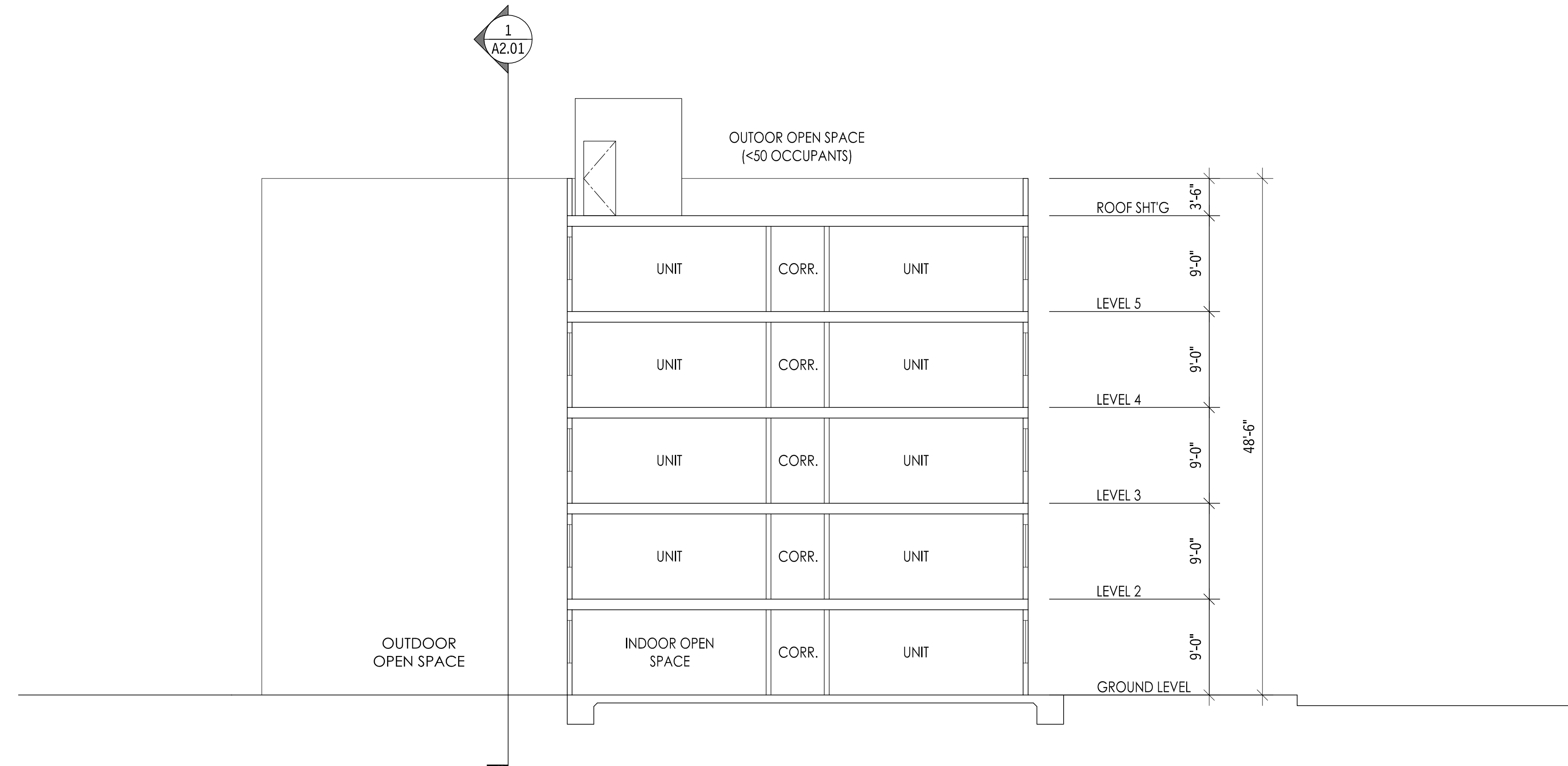
- A SEE INTERIOR DESIGN SHEETS FOR
ADDITIONAL INFORMATION

BUILDING SECTION

PROJECT #: 15200.000
DATE: 16-10-12
SCALE: 1" = 8'-0"

A2.01

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10.07.16 Project Exhibit
REV DATE ISSUE

BUILDING SECTION
SCALE: 1/8" = 1'-0"

1

KEYNOTES

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FINISH/TYPE | |
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FINISH/TYPE | |

SHEET NOTES

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HOUSING**

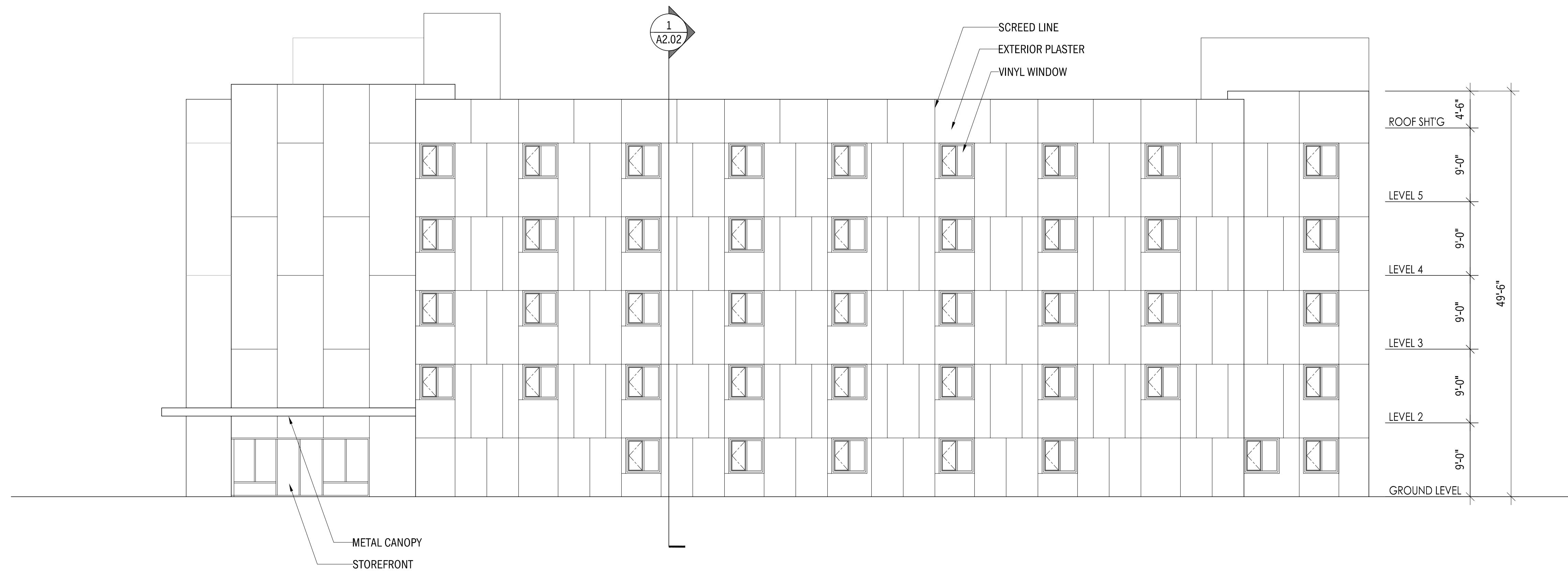
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BUILDING SECTION

PROJECT #: 15200.000
DATE: 16-10-12
SCALE: 1" = 8'-0"

A2.02

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10.07.16 Project Exhibit
REV DATE ISSUE

BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

1

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KEYNOTES

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SHEET NOTES

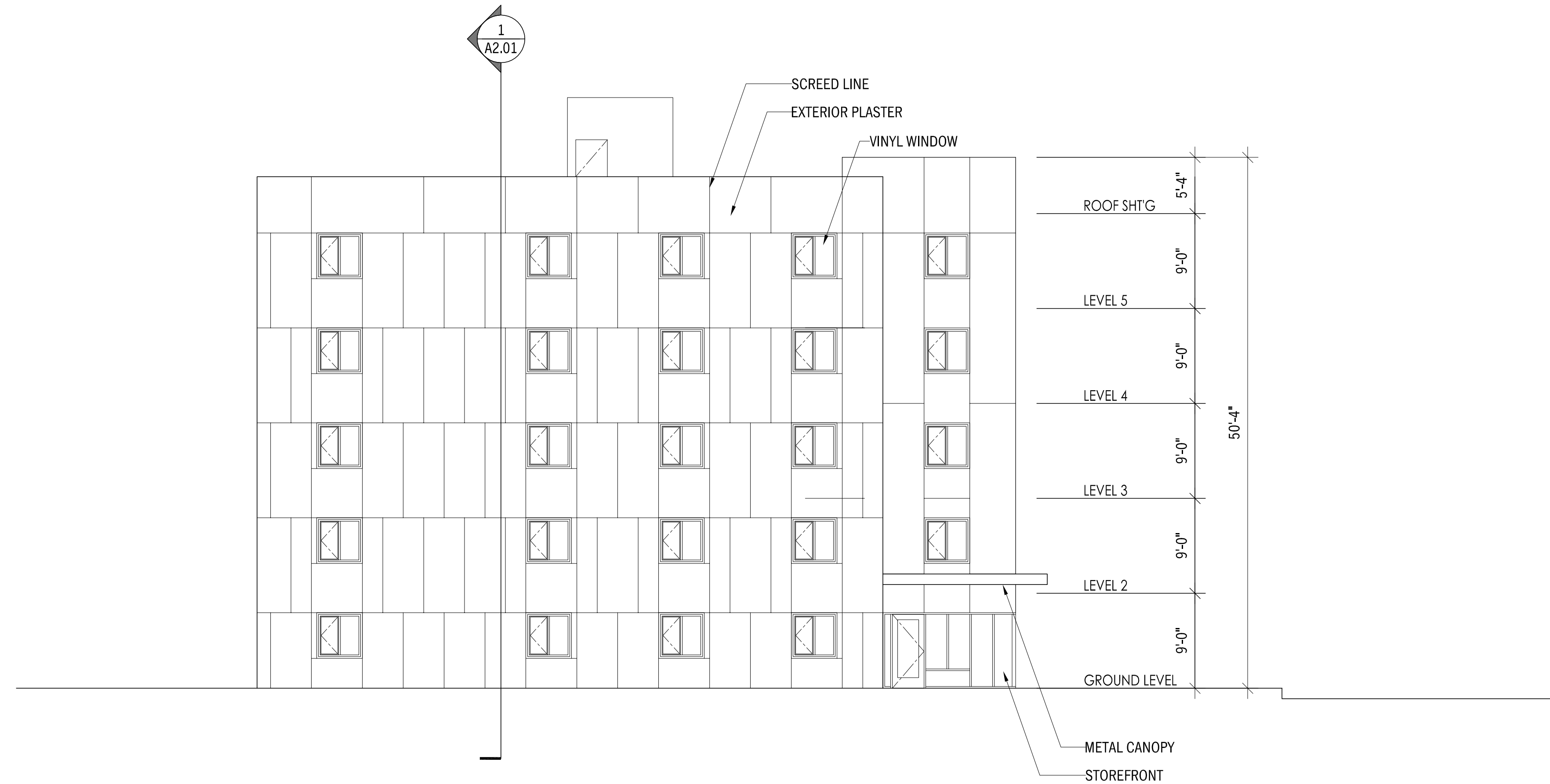
- A SEE INTERIOR DESIGN SHEETS FOR
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BUILDING ELEVATION

PROJECT #: 15200.000
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SCALE: 1" = 8'-0"

A3.01

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10.07.16 Project Exhibit
REV DATE ISSUE

BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

1

KEYNOTES

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FINISH/TYPE | |
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SHEET NOTES

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HOUSING**

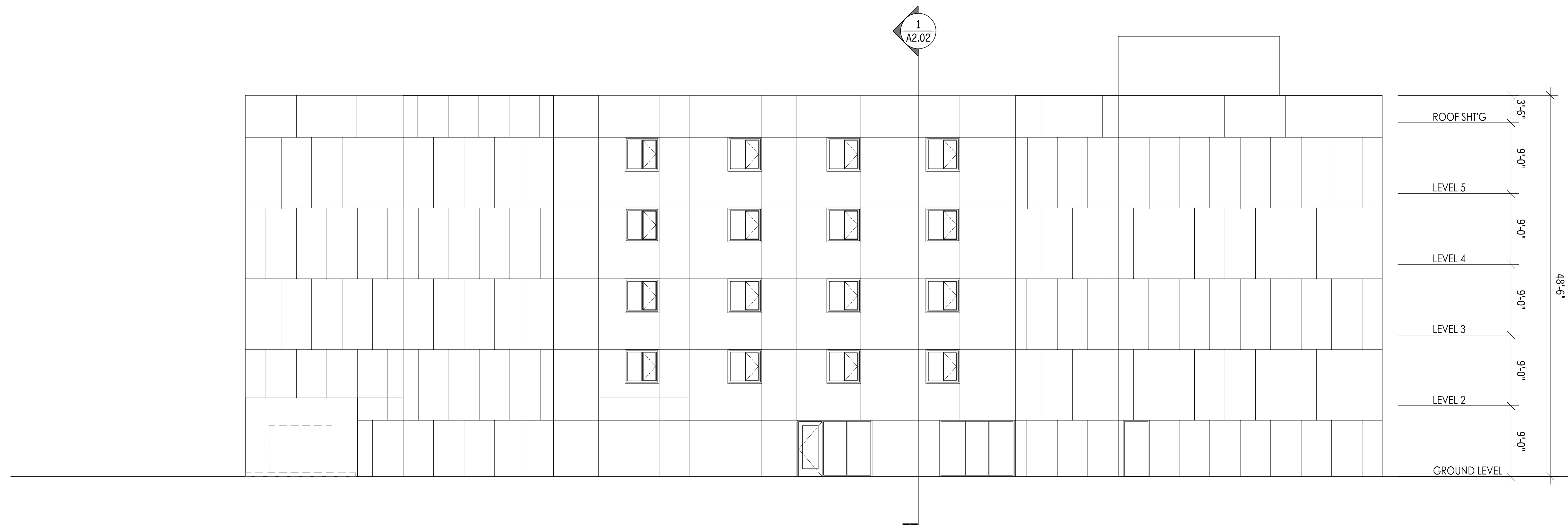
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BUILDING ELEVATION

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A3.02

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BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

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KEYNOTES

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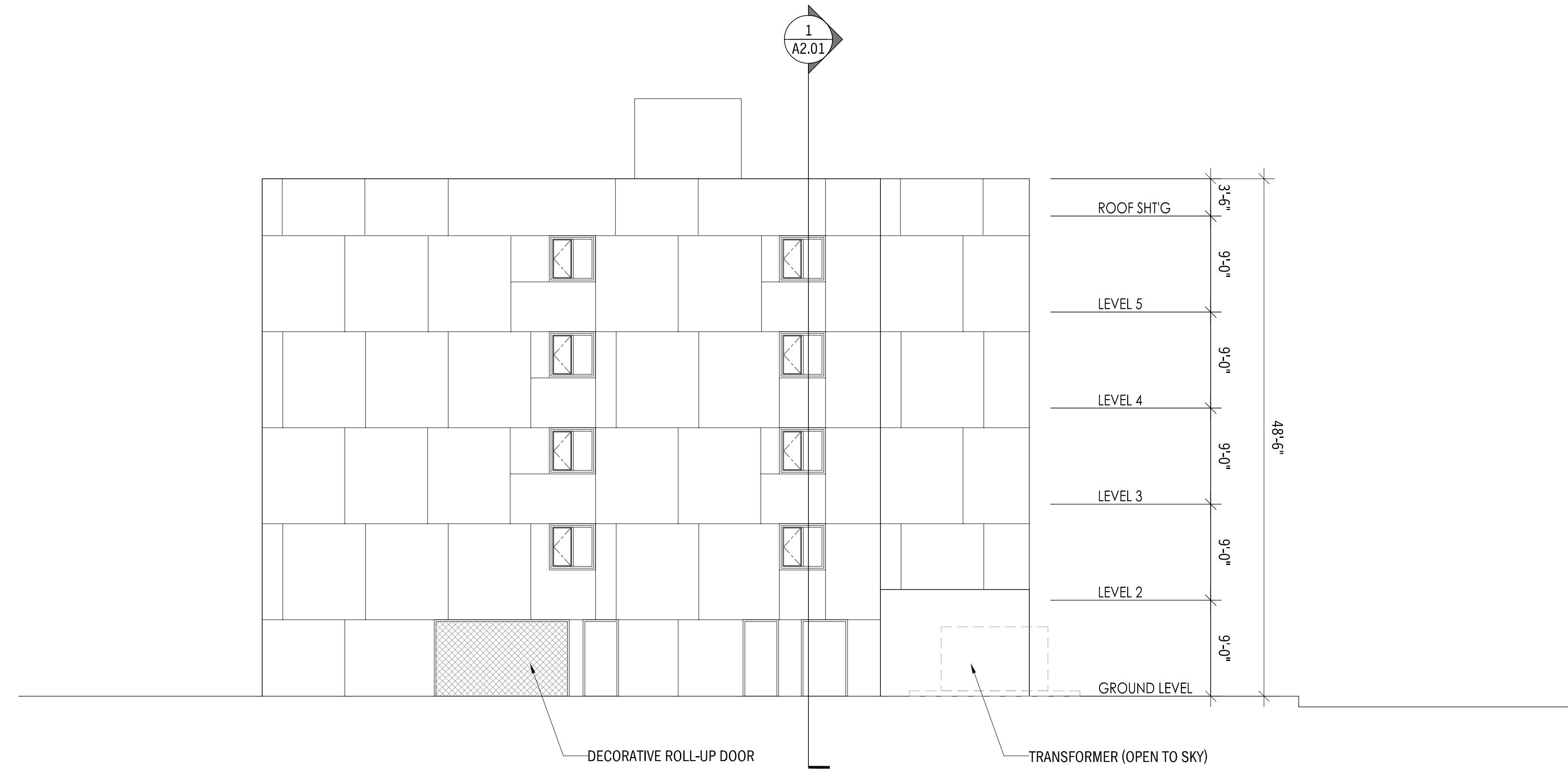
SHEET NOTES

- A SEE INTERIOR DESIGN SHEETS FOR
ADDITIONAL INFORMATION

BUILDING ELEVATION

PROJECT #: 15200.000
DATE: 16-10-12
SCALE: 1" = 8'-0"

A3.03



BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

1

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SRO REPLACEMENT
HOUSING**

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KEYNOTES

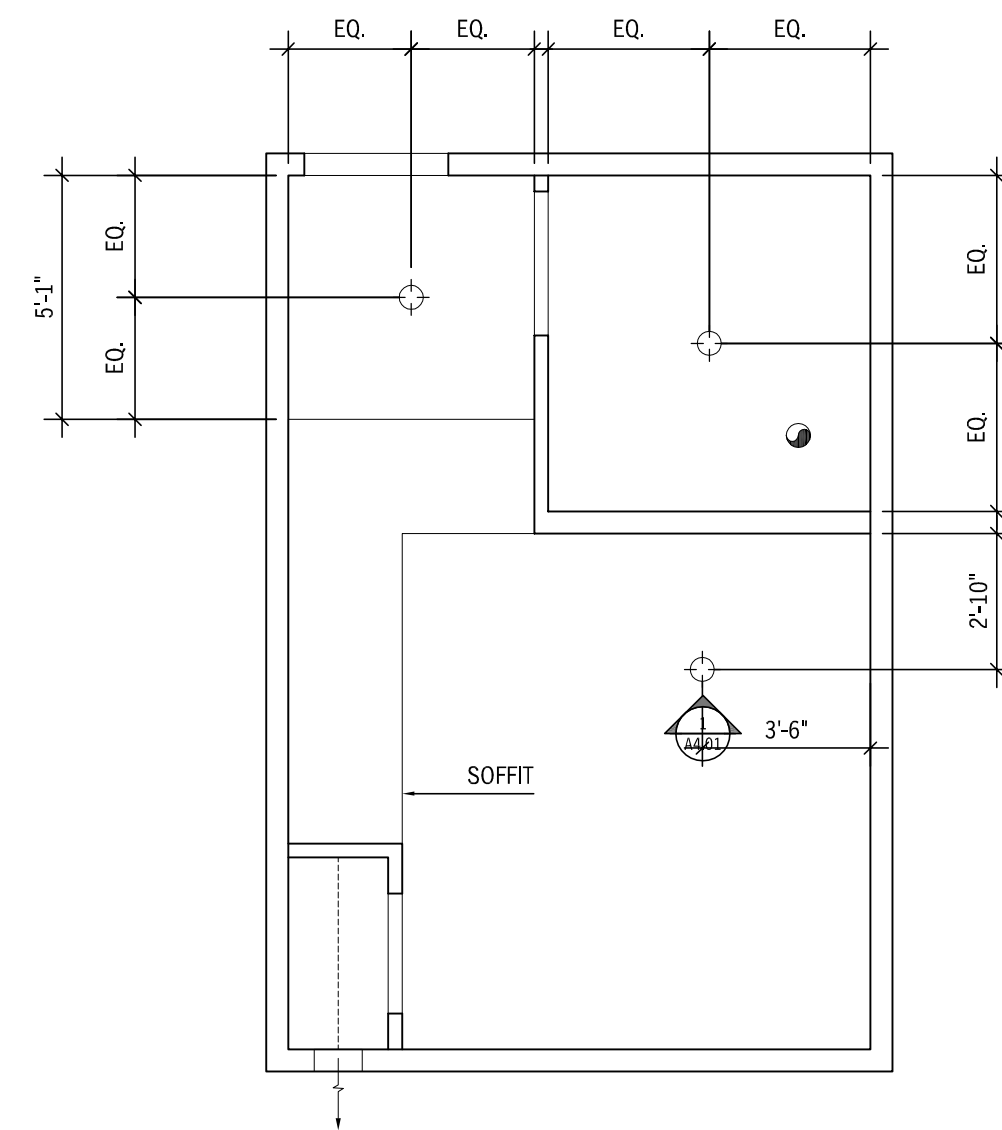
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SHEET NOTES

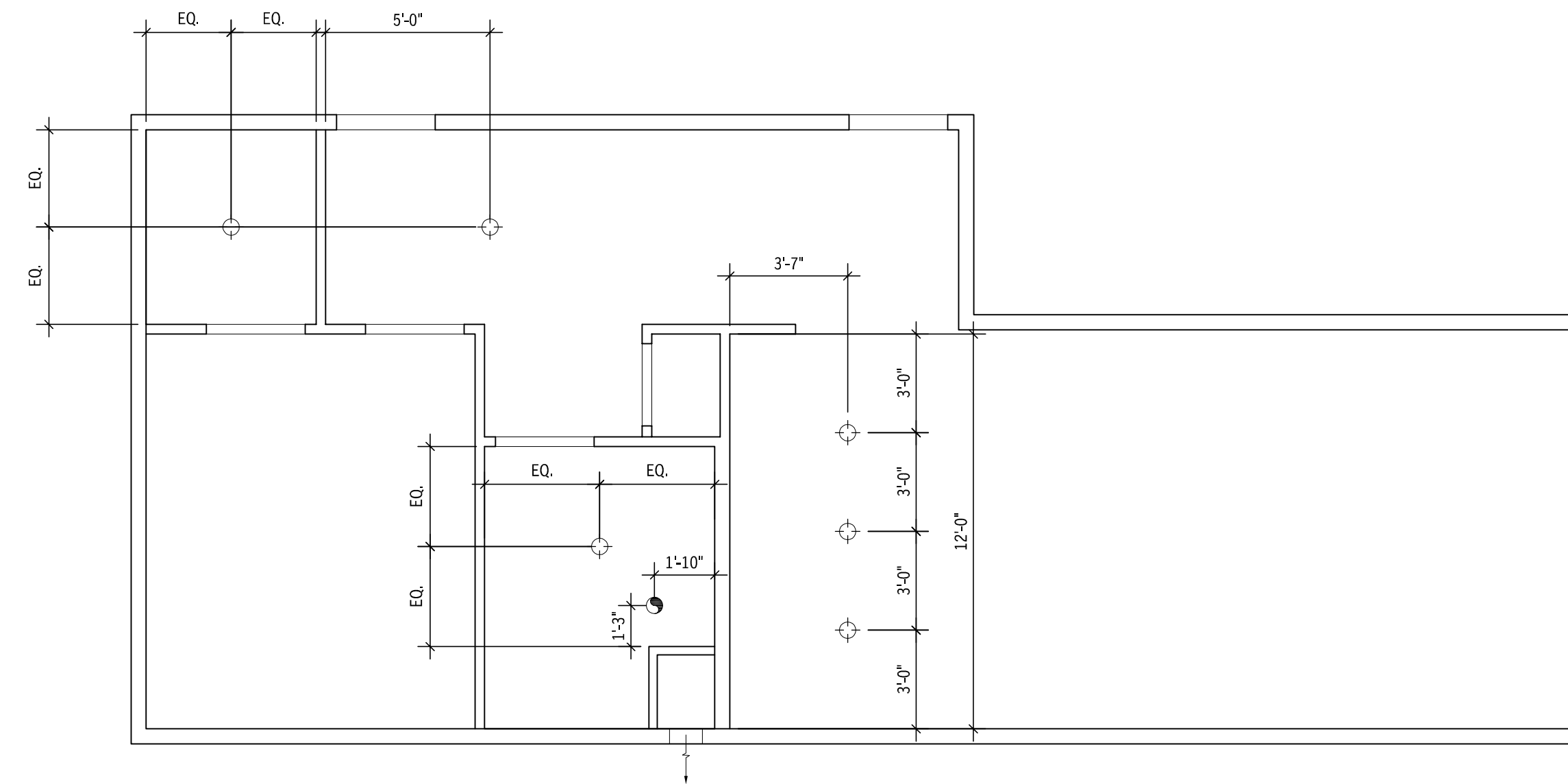
- A SEE INTERIOR DESIGN SHEETS FOR
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BUILDING ELEVATION

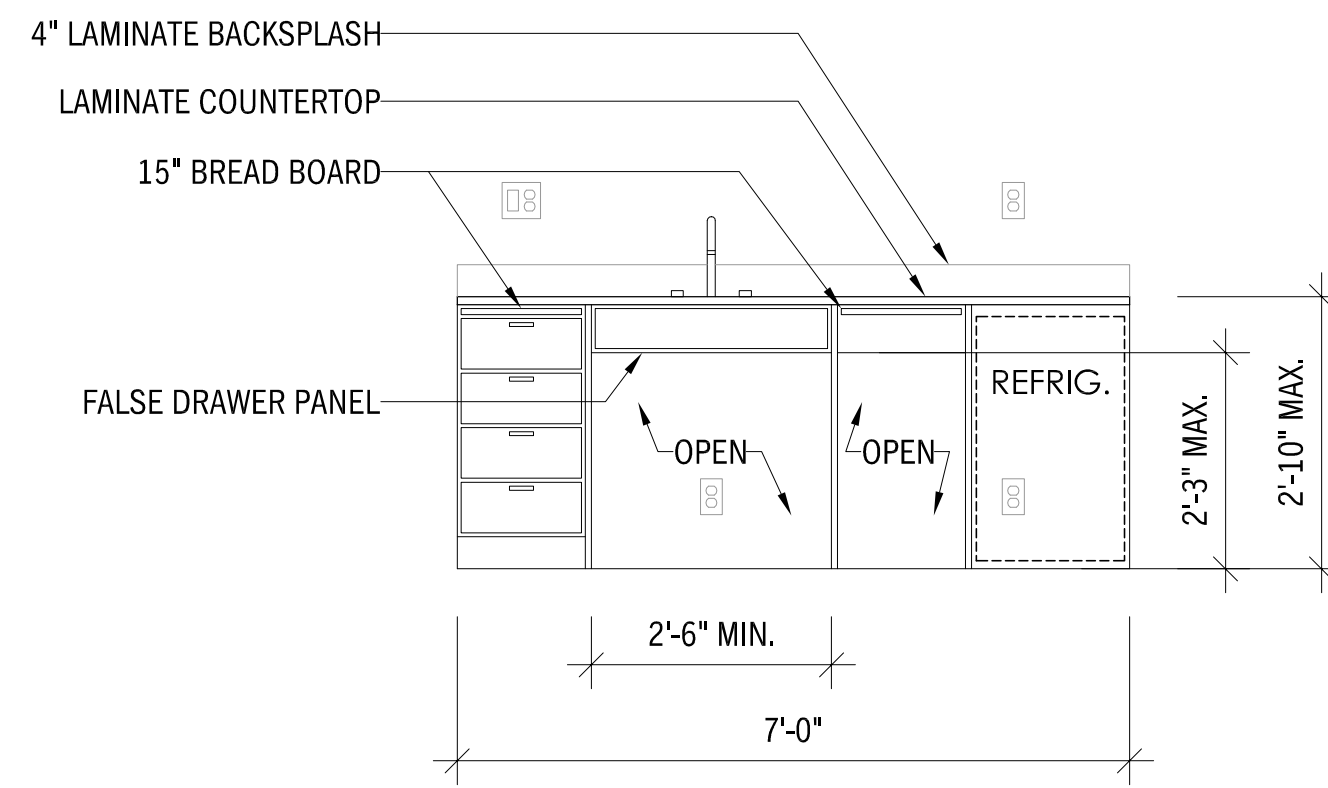
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DATE: 16-10-12
SCALE: 1" = 8'-0"



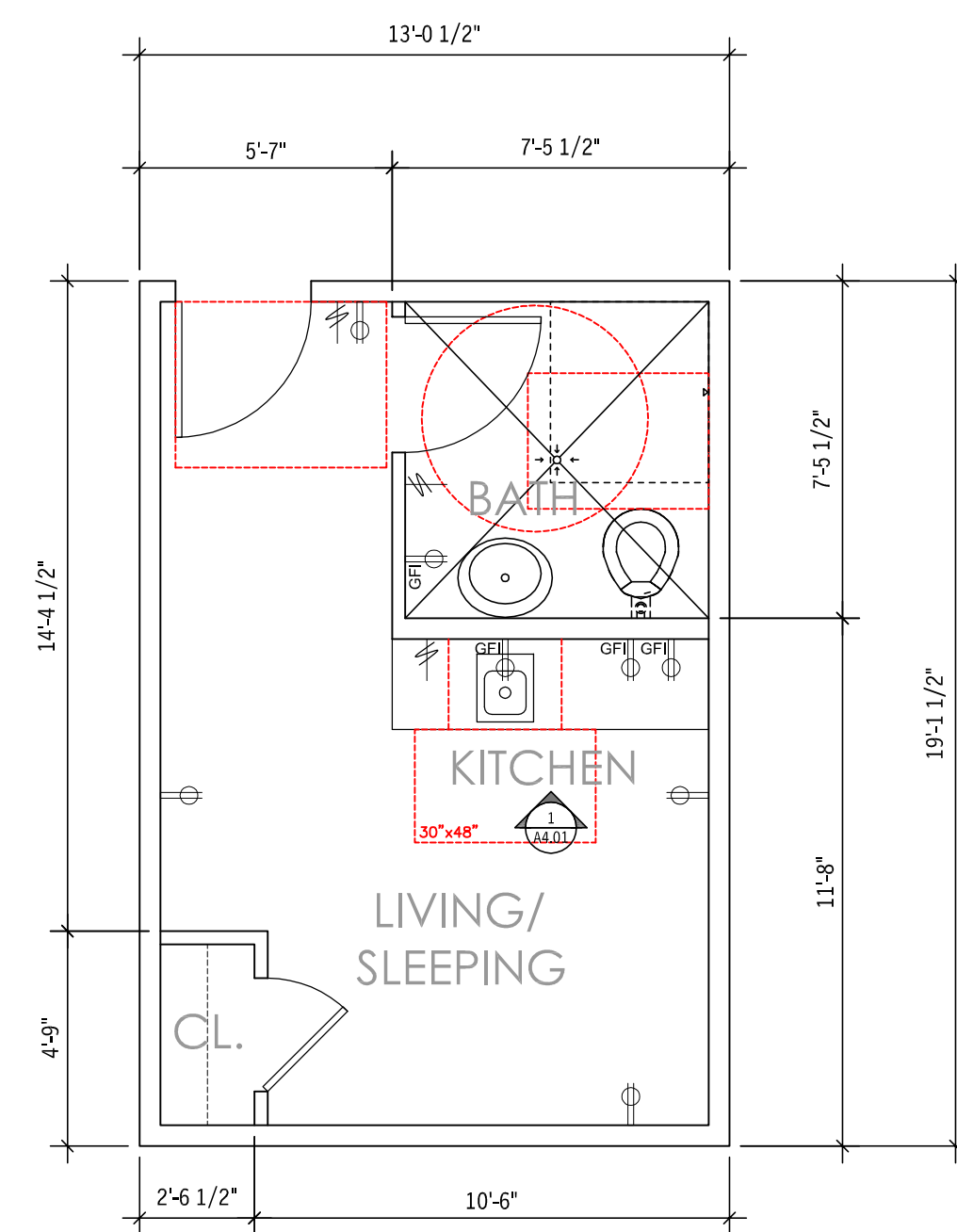
TYPICAL UNIT REFLECTED CEILING PLAN **4**
SCALE: 1/4" = 1'-0"



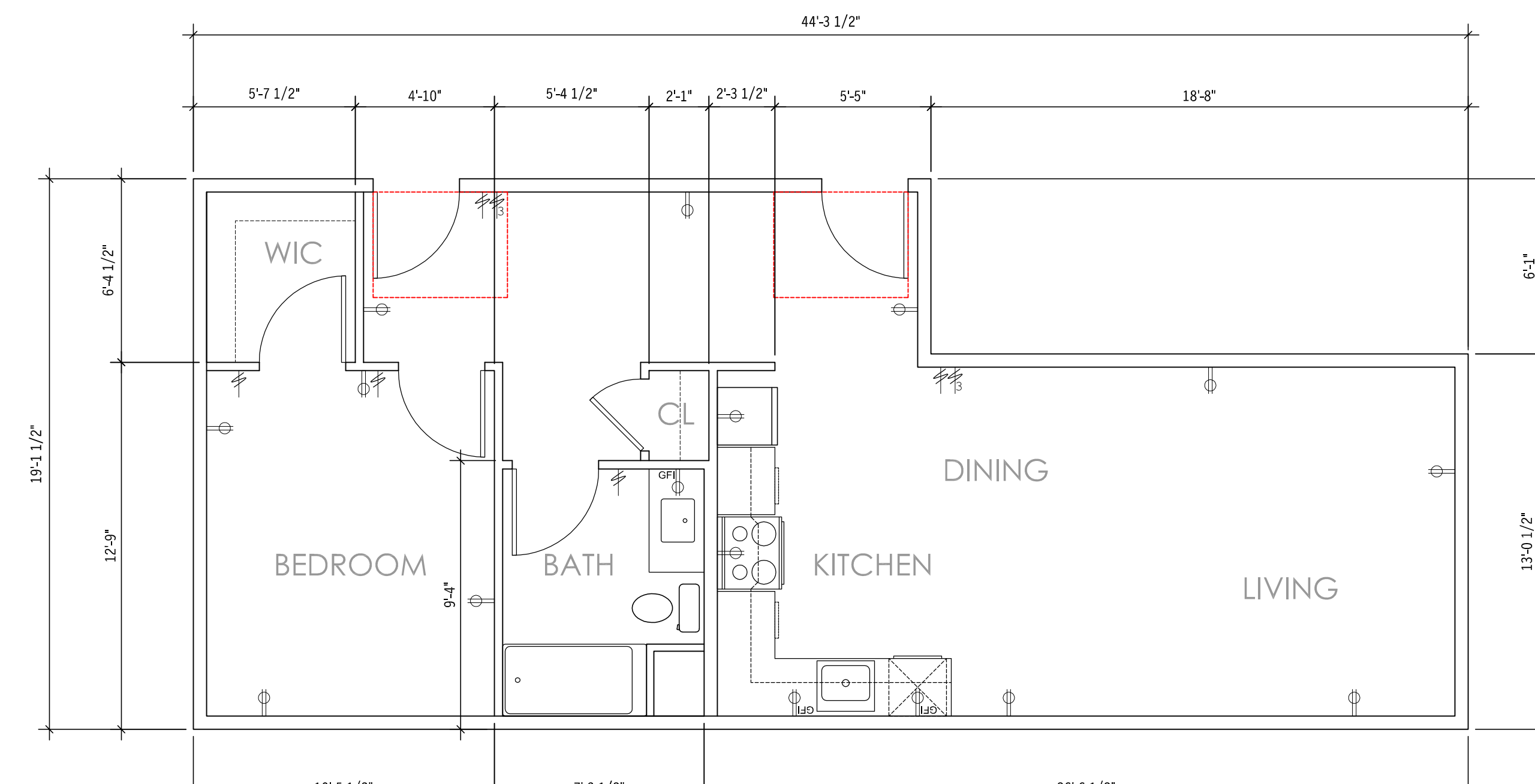
ONE BEDROOM UNIT REFLECTED CEILING PLAN **2**
SCALE: 1/4" = 1'-0"



TYPICAL UNIT KITCHEN ELEVATION **5**
SCALE: 1/2" = 1'-0"



TYPICAL UNIT FLOOR PLAN **3**
SCALE: 1/4" = 1'-0"



ONE BEDROOM UNIT FLOOR PLAN **1**
SCALE: 1/4" = 1'-0"

WALL LEGEND

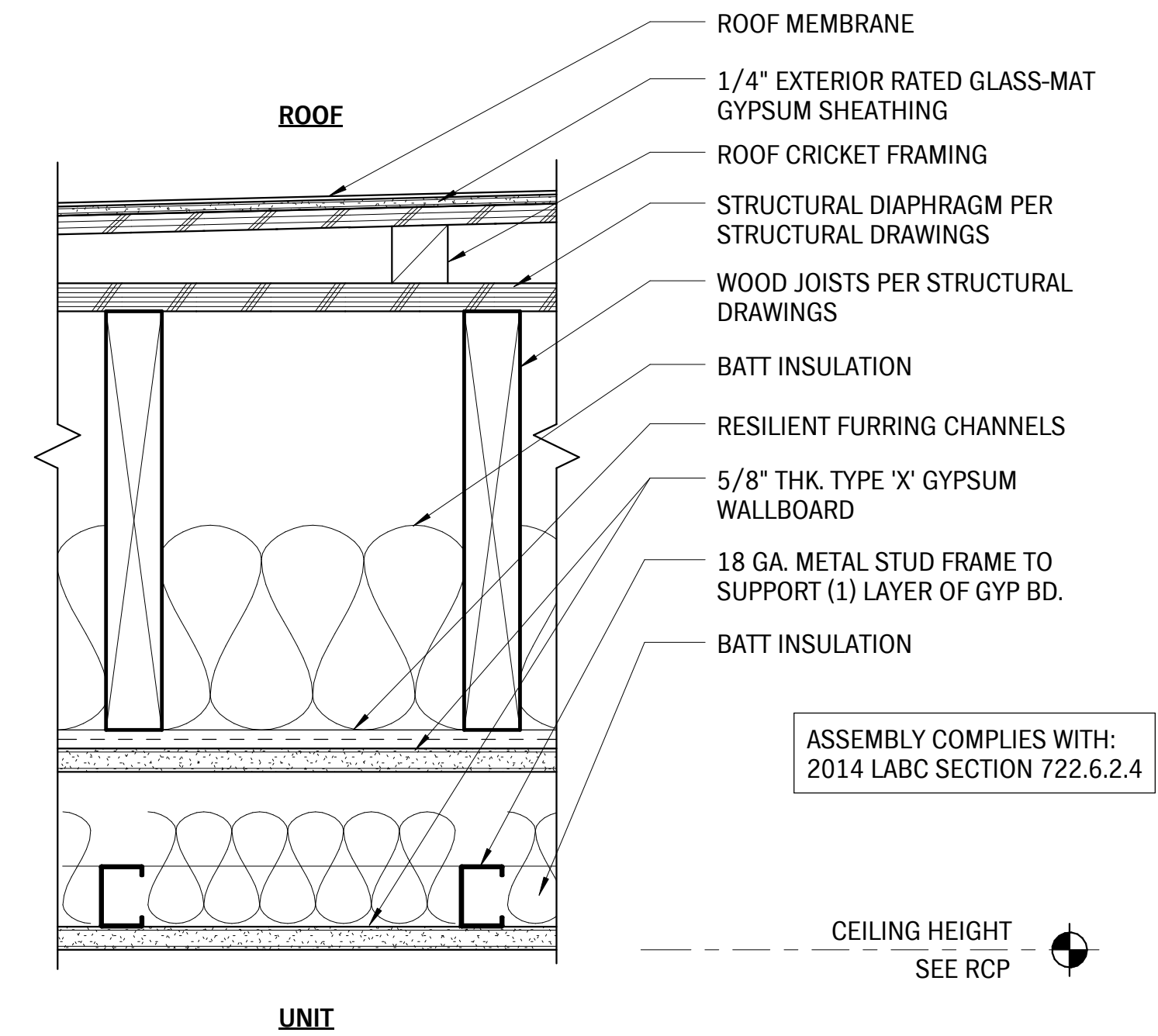
- (E) WALL TO REMAIN
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KEYNOTES

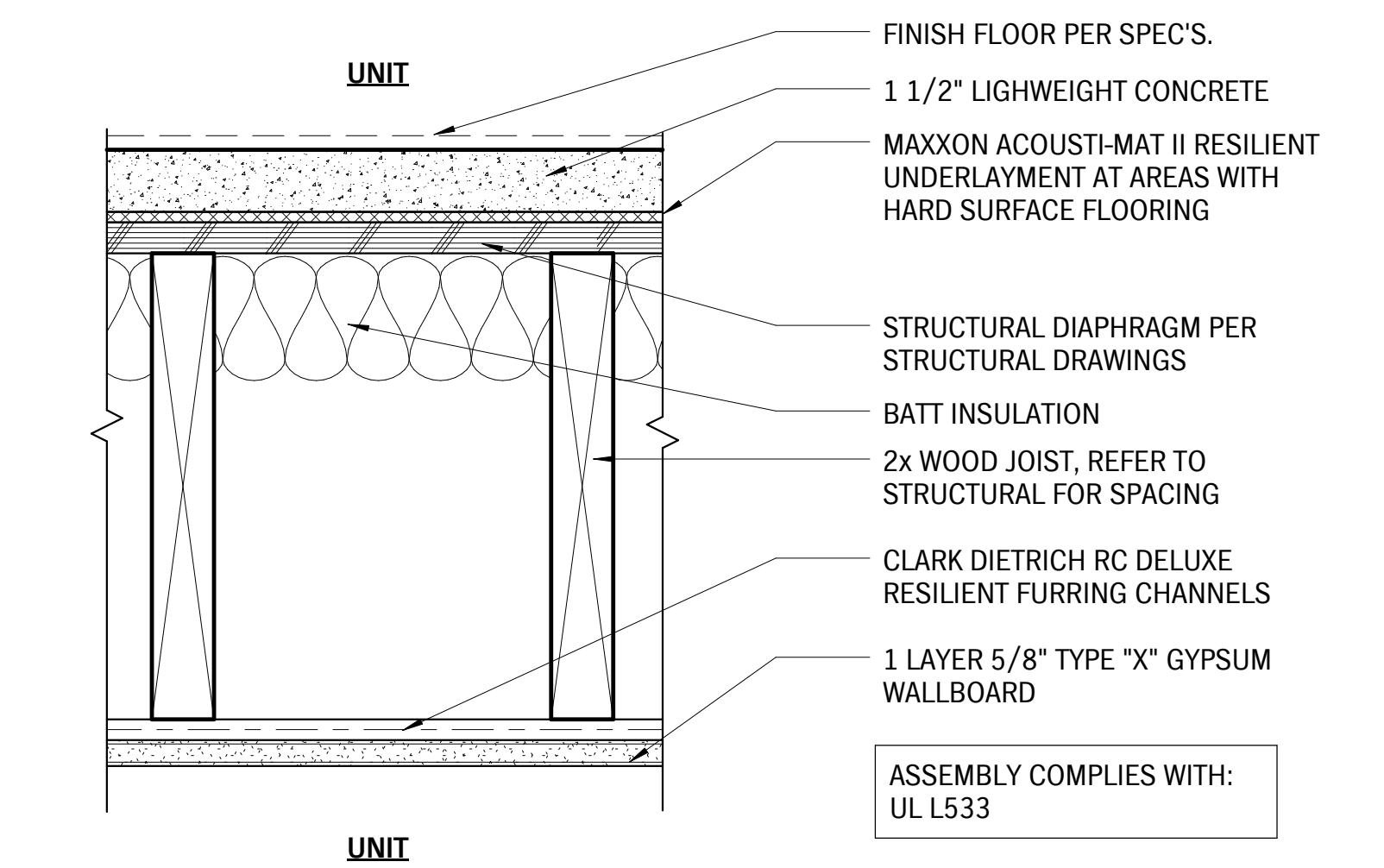
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SHEET NOTES

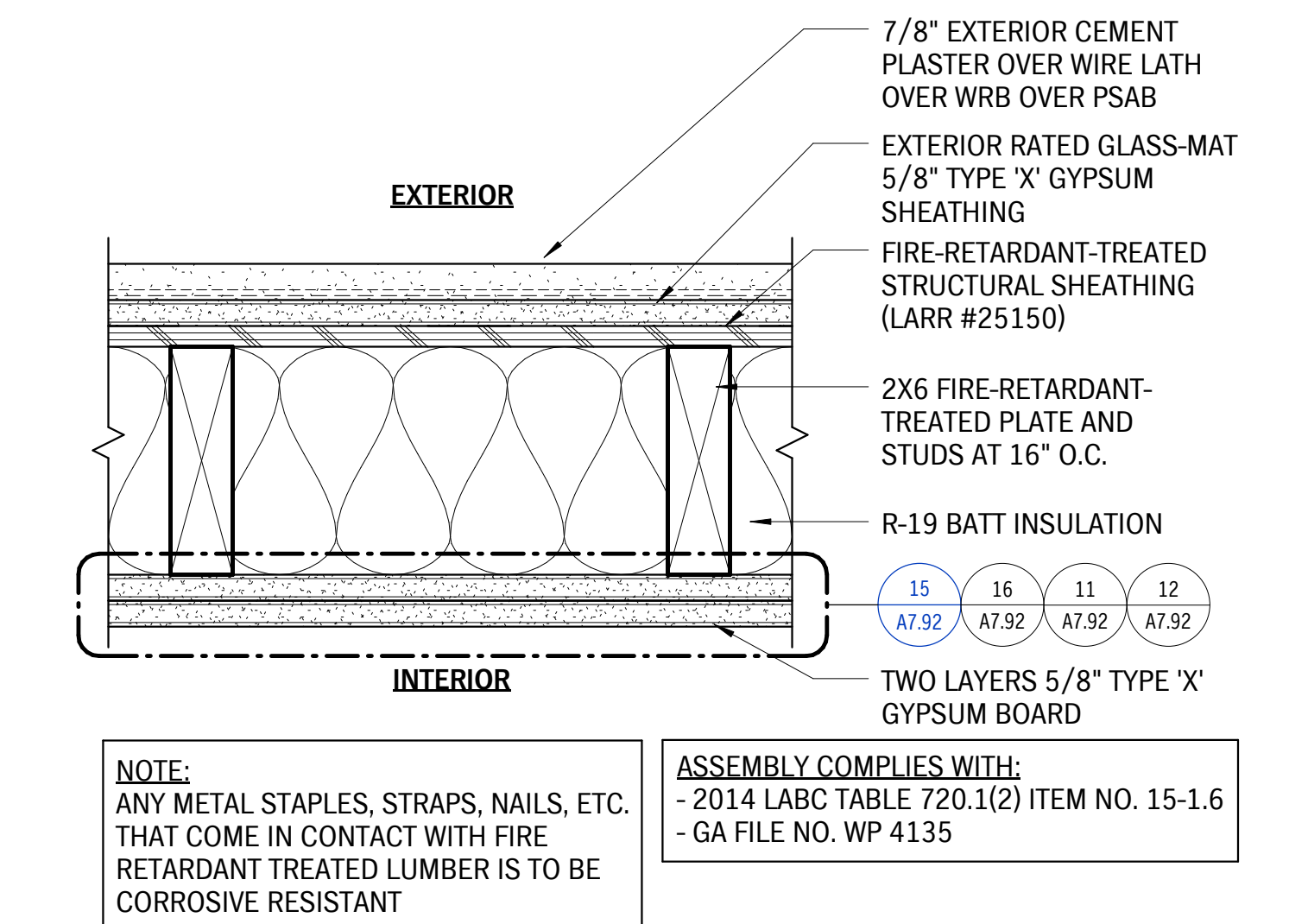
- A ALL INTERIOR DIMENSIONS ARE TO FACE OF WALL FINISH.
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- H



1-HR RATED ROOF-CEILING ASSEMBLY **11**
SCALE: 3" = 1'-0"



1-HR RATED FLOOR-CEILING ASSEMBLY (UNIT TO UNIT) **1**
SCALE: 3" = 1'-0"



2-HR RATED EXTERIOR WALL - PLASTER **7**
SCALE: 3" = 1'-0"

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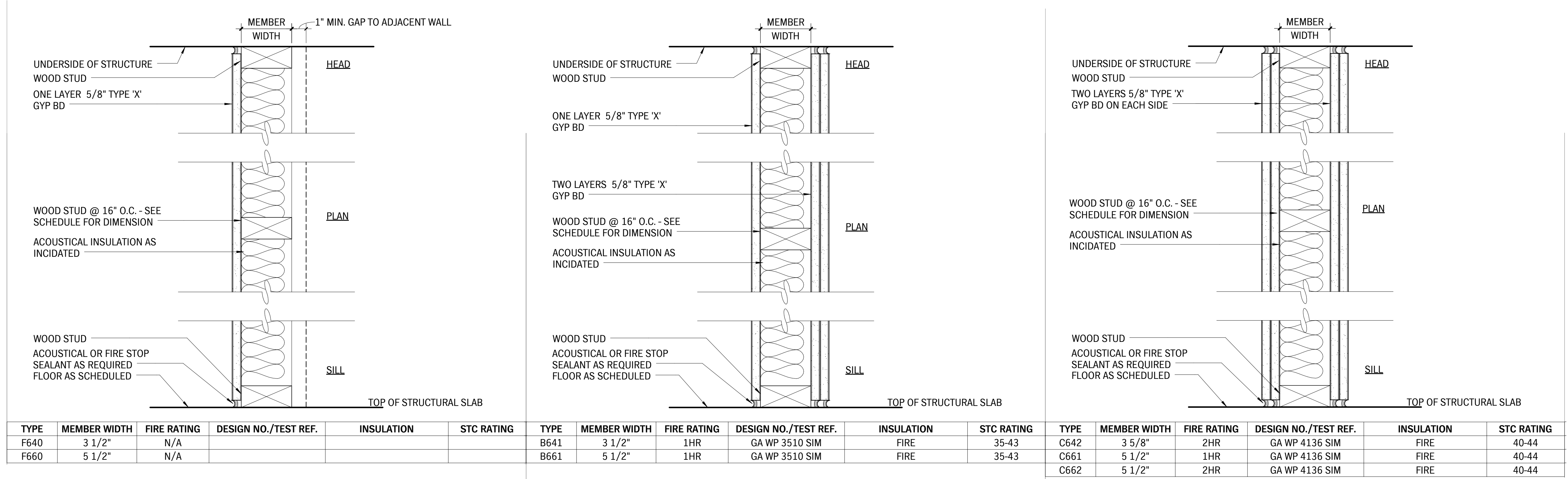
10.07.16 Project Exhibit
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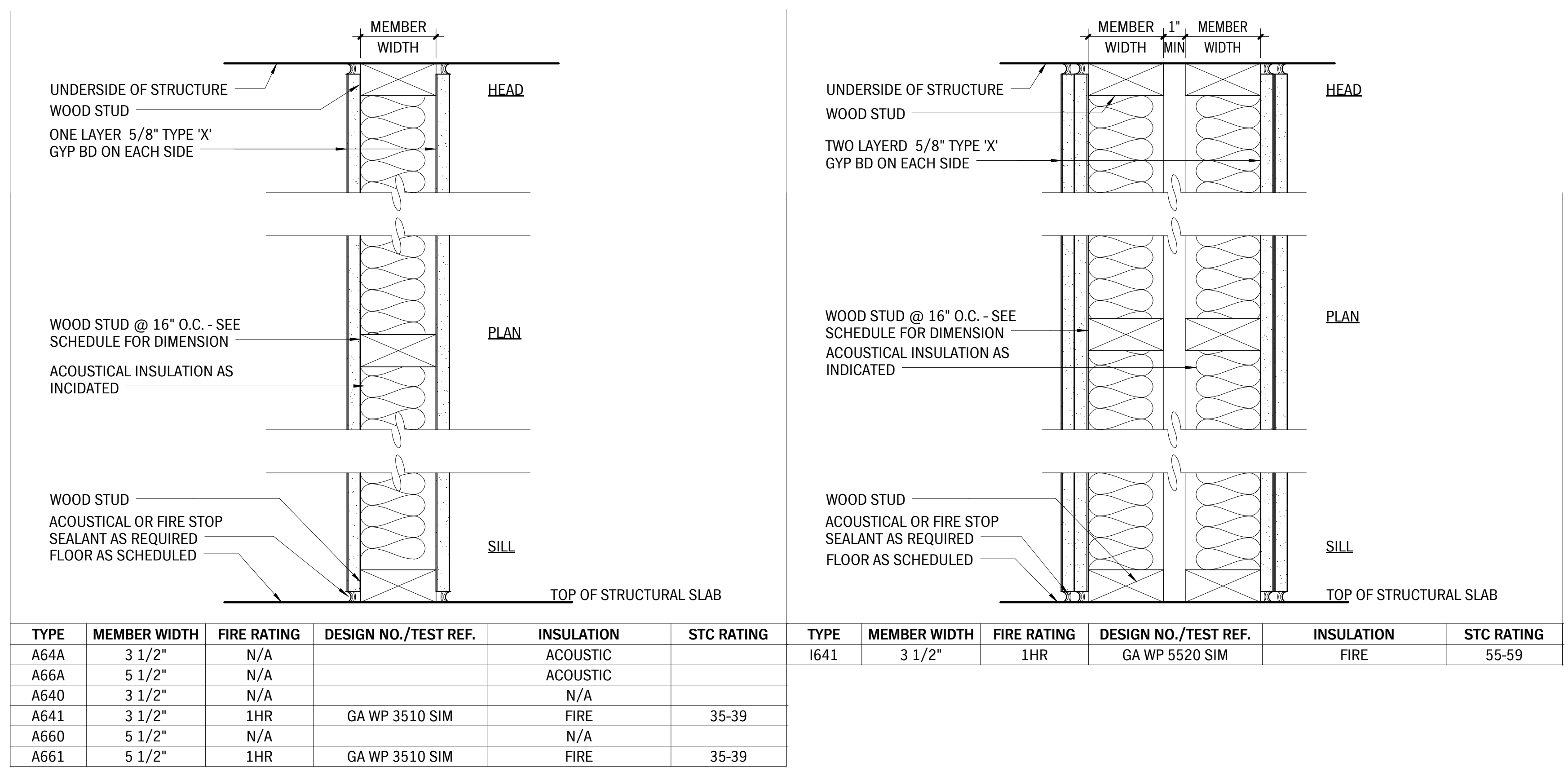
1246 S. Hope Street
 Los Angeles, CA 90015

EXTERIOR WALL ASSEMBLY
 FLOOR-CEILING-ROOF ASSEMBLY

PROJECT #: 15200.000
 DATE: 16-10-12
 SCALE: AS NOTED



NOTE: WHEN COMBINED WITH FIRING WALL F64A SHALL PROVIDE STC > 50



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1246 S. Hope Street
Los Angeles, CA 90015

PARTITION TYPES

PROJECT #: 15200.000
DATE: 16-10-12
SCALE: AS NOTED

Project Name:	Morrison SRO Housing
Project Address:	Los Angeles, CA 90015
Project Number:	15200
Owner:	TBD
Date:	10/11/2016
STRUCTURE	
Foundation	
1.) Level 1 Ground floor slab	PT slab – 9" thick, except 14" thick conventional slab over driveway and loading areas.
2.) Foundation:	Conventional Spread Footings.

Framing (Floors 1-5)	
1.) Exterior Walls:	III A a) Nonbearing- 1hr rated 2x6" FIRE RETARDANT Wood Studs w/ plaster on exterior side and 5/8" rated gyp board on interior side (1 hour fire rated per GA file no. WP 8130 or LABC Table 720.1(2), item 15-1.3) b) Bearing 2hr rated 2x6" FIRE RETARDANT Wood Studs w/ plaster and 2-layers 5/8" rated gypsum sheathing on exterior side and 2-layers of 5/8" gyp board on interior side (2 hour fire rated per GA file no. WP 8417 or LABC Table 720.1(2), item 15-1.6)
2.) Interior Partitions:	2x4" Wood Stud Walls
2.) Unit to Corridor Partitions:	2-lrs of 5/8" gyp. on corridor side, 1-lyr of 5/8" gyp bd on unit side. (1 hour fire rated per GA file no. WP 3380)
3.) 3-Hr Fire-wall:	Wood stud 3hr rated core wall with 2x6 studs w/ 1" airspace gap w/ 2 layers of 5/8" gyp board on each side (3 hour fire rated per GA file no. WP 2930)
4.) Party Walls	At all other units: 2x6 sill w/ 2x4" staggered studs 2-lrs of 5/8" gyp. on one side, 1-lyr of 5/8" gyp bd on other side. (1 hour fire rated per GA file no. WP 3380)

Floor Assembly	
1.) Interior Party Floors:	2x12 Joists @ 16" o.c. with 3/4" structural sheathing. Floors will be topped with 1-1/2" gypcrete plus floor finish (linoleum, over acoustical underlayment). Floor framing shall support one layer of gypsum board mounted to RC-1 resilient channels. Provide single layer of R-11 batt insulation. (1 hour fire rated assembly per GA file no. FC 5107)
2.) Exterior Deck:	2x10 joists @ 16" o.c. Floors will be topped with 2 1/2" hardrock concrete over drainage mat and waterproofing over 1 layer of 3/4" plywood, rip joists for drainage, flush beam supports deck framing. Exterior plaster applied to underside of 1 layer 5/8" type 'x' gypsum board applied to joists ; fire rated per UL #L519, System #2
3.) Common corridors	2x8 joists @ 16" o.c. with 3/4" structural sheathing. Floors will be topped with 2 1/2" hardrock concrete plus floor finish (where occurs). Floor framing shall support one layer of gypsum board mounted to underside of joists. Drop ceiling of one layer of gypsum board supported by wood stud framing.
4.) Roof:	Modified bitumen roofing system over 5/8" CDX sheathing and plywood crickets over trusses, slope along flow line at 1/4" per foot min. Structural to include provisions for concrete equipment pads on roof if required by acoustical consultant. Provide R-30 batt insulation in between joists. Slope to internal drains. 2 layers of 5/8" gypsum board applied to trusses. (Fire rated assembly per GA file no. RC 2602)

BUILDING EXTERIOR	
Finish -- Plaster	
1.) Texture:	7/8" -3 coat ext. cement plaster over building paper 16/20 Finish
Finish -- Aluminum Composite Panels	
Factory PVDF coating	
Finish -- Tile	
Ceramic tile	
Finish -- Exterior painting	
a.) Stucco	Painted
b.) Perforated Metal panels	Painted
c.) Railings	Painted
Roofing	
1.) Modified Bitumen	3 ply Class 'A' SBS Modified Bitumen Roofing

4.) Hardware:	TBD
Kitchen Countertop	
1.) Surface:	P. Laminate
2.) Edge:	square edge, mitered corner
3.) Backsplash	4" Laminate
Bath Countertop (NONE)	
Bath Fixtures	
Prefabricated Bathroom	SUNZOOM Model # 160120 prefabricated bathroom; acrylic composite w/ sink, faucet, shower, lighting, etc.
Appliances	
Microwave	RCA 0.7 cu.ft. countertop Microwave Model # RMW733-Black
1.) Under Counter Refrigerator	Magic Chef 3.5 cu.ft. Model HMBR350SE1
Sink	Moen Z200 drop in stainless steel single bowl sink - Model G2245822
BUILDING INTERIOR -- COMMON AREAS	
Drywall	
Note:	
1.) All interior walls:	Drywall Level 4
2.) Floor Ceiling Assemblies:	Drywall Level 4
3.) Wall and Ceiling Texture	Light Orange Peel
Surface Flooring	
Note:	
* Acoustical isolation membrane under topping slab will be required at all surface flooring.	
1.) Elevator Lobby:	Vinyl
2.) Entry Vestibules:	Vinyl
3.) Corridors:	Vinyl
4.) Mail Room	Vinyl

Metal Fabrications	
1.) Railings & Guardrails:	Steel tube and wrought iron designed to lateral Load per CBC.
2.) Other elements:	
3.) Finish:	
a.) Material:	Steel
b.) Finish:	Painted – Metallic high-performance coating (e.g. Precision Coatings)
Insulation	
Note:	
* All exterior walls will have fiber glass batt insulation, thickness as required by title 24 and acoustical analysis.	
* Provided also at drain, water and waste lines.	
* Fiberglass batt insulation will also be used at all bedroom and corridor walls.	
1.) Batt Style in Walls:	TBD by Energy Code
2.) Batt Style in Ceilings:	TBD by Energy Code
Waterproofing	
1.) Waterproofing at roof deck	
Stairs in Type III	
1.) Stair Framing:	Steel
2.) Riser/Tread:	Concrete filled pan
3.) Landings:	a) Steel Pan w/ PIP Concrete b) Precast Panels In Steel Frame

Windows/ Doors	
1.) Windows:	Vinyl AAMA C-C-40; F-C-40 AP-C-40- Milgard Montecito
2.) Operation:	Fixed, Casement
3.) Finish:	White Vinyl;
4.) Glazing:	Dual glazed throughout, specifics per Acoustic Report
Storefront Glazing -- Entry Lobby & Amenity	
1.) Frames/Mfg.:	Arcadia AG 451 Center glazed- 2" x 4-1/2"
2.) Operation:	Fixed
3.) Finish:	Factory enamel
4.) Glazing:	TBD per Energy Code and Acoustical Report

BUILDING INTERIOR -- UNITS	
Drywall	
Note:	
5/8" Type 'X' Gyp board	
1.) All interior walls:	Drywall- Level 4

Painting	
Note:	
* Finish painting will consist of 2 coats over prime coat	
1.) Interior Walls:	Per Interior Designer
2.) Doors, Frames, Casework & Finish Carpentry enamel:	Per Interior Designer
Finish Carpentry	
1.) Interior wood trim molding:	None
2.) Interior Door Casing (size/style)	2" Streamline
3.) Baseboards (size/style)	4" Paint Grade MDF
Misc. Building Specialties	
Note:	
* Manufacturer and model numbers to be selected. Including but not limited to the following:	
1.) Fire Extinguisher & Cabinets	J.L Industries- Academy Series Semi-recessed
2.) Mailboxes:	USPS 4C Standard In Wall, Front Loading, Match Nickel Finish
3.) Door Chime:	Per Interior Designer
4.) Bike Racks:	Dero Decker Modular 2-Tiered System Model DD-SS-12_galvanized finish, or equal
5.) Signage:	TBD
6.) Elevator Smoke Curtain	N/A
PLUMBING	
Note:	
* All waste lines are cast iron.	
* Domestic water supply line is copper	
1.) Hot Water: (Central)	a) Solar hot water heating with gas boiler backup at two locations (On Roof)
2.) Isolators	Per Acoustic Consult.
Fire Sprinklers	
Note:	
* All buildings to be fully sprinklered.	
* Rec/ Leasing areas to comply with NFPA 13	
* Conform to requirements of Building/Fire Dept.	
HVAC	
Optional : Air Conditioner (wall unit)	GE AEL08LS_8,000 BTU 115 Volt Electric window Unit
ELEVATORS	

2.) At Bathtub/shower surrounds use:	a) DensShield Tile Backer
3.) Wall and Ceiling Texture	a) Light Orange Peel
PS: No dropped Ceiling Soffits	
Unit Doors	
1.) Entry Door panel:	1 3/4" Flush Panel Metal Door
2.) Interior Doors:	1 3/4" Flush Panel Hollow Core Wood Door
3.) Wardrobe Doors:	Paint grade
4.) Sliding Doors:	N/A

Finish Hardware	
1.) Living Unit Entry Handle Set:	
a.) Vendor	Kwikset
b.) Style:	TBD
c.) Finish	TBD
2.) Living Unit Interior Hardware:	
a.) Vendor	TBD
b.) Style:	TBD
c.) Finish	TBD

Flooring	
1.) Kitchen:	Vinyl Flooring
2.) Bath:	Vinyl Flooring
3.) Entry:	Vinyl Flooring
4.) Washer/Dryer	Vinyl Flooring
5.) Other Areas: (living/family/dining)	Vinyl Flooring
6.) Bedrooms/ Den	Vinyl Flooring

Painting	
Note:	
* Finish painting will consist of 2 coats over prime coat	
1.) Interior Living Spaces:	Frazeze paints One Color Flat (walls); One Color Flat (ceiling)
2.) Doors, Frames, Casework & Finish Carpentry enamel:	One Color Semi-gloss
3.) Kitchen/bath enamel:	One Color Gloss (LoGlo)
4.) Interior registers to match wall color	

Window Coverings	
1.) Glass Doors	1" Horizontal Blinds
2.) All Others:	3-1/2" Vertical Blinds

Finish Carpentry	
1.) Interior Door Casing (size/style)	2-1/4" Streamline by Kelleher (paint grade)
2.) Baseboards (size/style)	3-1/4" Streamline by Kelleher (paint grade)

Cabinets	
1.) Kitchen:	3 DRAWER CABINET
2.) Bathrooms:	Flat panel door w/ overlay hinges
3.) Interior:	TBD

Elevator	Thyssenkrupp Synergy Machine Room-less, Building Supported, 3,500# capacity, 10 stop side slide opening, 200 FPM.
ELECTRICAL	
Note:	
* Each residential unit will have its own single phase, 120/240, three wire electrical panel which will be located in the unit.	
1.) Metering (Individual vs. House Meter):	Individual House Meter (Common Areas)
Emergency Power/ Lighting	Battery packs (Bug eyes)
Fixtures	
1.) Unit entry way:	Hampton Bay Model # 54616241
2.) Bedroom (closet)	Hampton Bay Model # 54616241
3.) Kitchen:	Lithonia Model # 3348 2132W
4.) Bath:	FanLight Combo; Vanity strip sconce
5.) Closets:	N/A
Data/Phone/TV connections	
Note:	
1.) Cable TV (location/s)	
2.) Phone (location/s)	
3.) Cat5-RJ45 (location/s)	
Signal and Communications	
Note:	
* Fire Alarm System Components: Chime/Strobes in all areas, manual pull stations and connections to the sprinkler flow and tamper switches.	

CLIENT
Five Chairs
1605 Cahuenga Blvd.
Hollywood, California

10.07.16 Project Exhibit
REV DATE ISSUE

theMORRISON
SRO REPLACEMENT
HOUSING

1246 S. Hope Street
Los Angeles, CA 90015

OUTLINE SPECIFICATION

PROJECT #: 15200.000
DATE: 16-10-12
SCALE:

A5.03

**APPENDIX E:
MORRISON EXISTING LAYOUT**



- Shared Bathrooms = 40 SF, Typical,
 - Closets = 17 SF, Typical
 - Women Common Bathroom = 157 SF
 - Men Common Bathroom = 130 SF
- Typical Gross Floor Area = 11,688SF
- Guest Room area is Paint to Paint, Exclusive of Closet and Bathroom

**APPENDIX F:
PERTINENT SECTIONS OF THE CRA/LA DEVELOPMENT GUIDELINES AND
CONTROLS FOR RESIDENTIAL HOTELS IN THE CITY CENTER AND CENTRAL
INDUSTRIAL REDEVELOPMENT PROJECT AREAS**

The pertinent sections of the CRA/LA Development Guidelines and Controls for Residential Hotels in the City Center and Central Industrial Redevelopment Project Areas are as follows:

Section III. DEFINITIONS

Affordable Rent. All Replacement Units proposed for rehabilitation or new construction at the site of a Residential Hotel or at another site must be available to Lower Income Households at an "Affordable Rent". "Affordable Rent" shall mean:

(a) If the Residential Hotel Units are Demolished, Converted or rehabilitated by the CRA or any other person or entity as a result of a CRA Assisted Project, the lower of (i) the affordability level required by the Community Redevelopment Law (CRL); or (ii) the rent level of the unit(s) as set forth in Attachment B hereto [the 2006 survey by the CRA], adjusted annually by the CPI, provided however, that the rent and utilities for the unit may not exceed 30% of the AMI applicable to the family that occupies the unit, and in no event, will the rent and utilities for the Replacement Units exceed 30% of 60% of the AMI [for a household of one]; or

(b) If the Residential Hotel Units are Demolished, Converted or rehabilitated by a private owner, rent shall be based on the rent level of the unit as set forth in Attachment B hereto, adjusted annually by the CPI, and in no event, will the rent and utilities for the Replacement Units exceed 30% of 60% of the AMI for a household of one.

(c) In the event that Attachment B does not have information concerning the rental amount for a given residential hotel, and that information has not been added within six months of the adoption of the Development Guidelines, that figure shall be deemed to be the rental amount derived from the average rent of the remainder of the residential hotels in the survey, adjusted annually by the CPI.

Area Median Income ("AMI") means the area median income for the Los Angeles Long Beach Metropolitan Statistical Area, as determined annually by The United States Department of Housing and Urban Development (HUD).

Conversion. Conversion and derivatives thereof means the conversion of a Residential Hotel Unit(s), to either housing that is not affordable to Lower Income Households or to a non-residential use.

Replacement Housing Plan. A plan for Replacement Units that contains all of the information required by Section IV .B of these Development Guidelines, and if the Residential Hotel Units are Demolished, Converted or rehabilitated by a public or private entity or any other person or entity as a result of a CRA Assisted Project, such information or requirements as may be required by applicable local, state or federal laws and regulations governing replacement housing obligations of a public or private entity.

Replacement Unit. A unit that is restored or added to the Affordable Housing market as a result of the provisions of Sections IV .B and VI of these Development Guidelines.

Residential Hotel/SRO ("Residential Hotel"). Any building, including a building with single-room occupancy ("SRO") units, containing six or more guest rooms or efficiency units primarily intended or designed to be used, or which are used, rented or hired out to be occupied, or which are occupied, for sleeping purposes, and dwelling purposes by guests, meeting the definition of "Residential Hotel Occupant," which is the primary residence of those guests, whether rent is paid in money, goods, or services. All hotels meeting the definition above within one year prior to the adoption of the Development Guidelines are considered to be Residential Hotel/SRO.

It does not include any jail, health facilities as defined by Section 1250 of the Health and Safety Code, asylum, sanitarium, orphanage, prison, convent, rectory, residential care facility for the elderly as defined in Section 1569.2 of the Health and Safety Code, residential facilities as defined in Section 1502 of the Health and Safety Code or other institution in which human beings are housed or detained under legal restraint.

For the purposes of these Development Guidelines an inventory of Residential Hotels meeting this definition is attached hereto and incorporated herein as Attachment A.

Residential Hotel Unit means a guestroom or efficiency unit of a Residential Hotel.

Section IV. APPROVAL OF A PERMIT TO DEMOLISH, REHABILITATE OR CONVERT A RESIDENTIAL HOTEL

A. Permit Approval Requirements. No permit for the Demolition, rehabilitation or Conversion of a Residential Hotel Unit(s) located in the City Center or Central Industrial Redevelopment Project Areas, as set forth on Attachment A hereto, will be approved by the CRA, unless:

- I. The proposed new use is an Affordable Housing project with Affordable Rents that are covenanted for the longest feasible time and not less than 55 years by recorded affordability covenants; or
2. The Demolition, Rehabilitation, or Conversion is required by Building and Safety to correct immediate health and safety violations and no Residential Hotel Occupants are permanently displaced. If displacement is necessary, the same relocation requirements set forth in Section VIII of these Development Guidelines and replacement requirements set forth in Sections IV.B and VI of these Development Guidelines shall apply as if the building was being converted to market rate; or
3. The Residential Hotel is Converted but Residential Hotel Units are replaced on a one-for-one basis pursuant to one of the methods set forth in Section VII of these Development Guidelines, and all Displaced Persons receive relocation benefits as set forth in Section VIII of these Development Guidelines; and
4. The Replacement Housing Plan required by Section IV.B of these Development Guidelines and the Relocation Assistance Plan(s) required by Section VIII of these Development Guidelines are approved by the CRA Board of Commissioners. In cases where the Replacement Units will be built upfront, the applicant shall have executed a covenant to the CRA that it will not apply

for a Certificate of Occupancy for the structures whose development caused the Demolition, Conversion or permanent removal of the Residential Hotel Units until it has completed the Replacement Units called for by the Replacement Housing Plan that the CRA Board has approved.

B. Replacement Housing Plan.

Prior to the approval of a permit for the Demolition, rehabilitation, or Conversion of a Residential Hotel, a Replacement Housing Plan also must be submitted for approval by the CRA Board of Commissioners. The Replacement Housing Plan must include:

1. A description of the proposed Conversion, Demolition, or rehabilitation including the nature of the proposed project, the total number of units proposed and all related amenities, proposed rental or for-sale rates of the proposed units, and a tentative schedule for start of construction; '

2. The total number of existing Residential Hotel Units in the Residential Hotel;

3. The bedroom composition of the existing Residential Hotel Units;

4. A report from a qualified relocation consultant on the income levels of the Residential Hotel Occupants, the current rental rates for each Residential Hotel Unit, the length of residency of each Residential Hotel Occupant, the number of vacant units and length of vacancy;

5. A statement as to whether any Residential Hotel Occupants will be displaced as a result of the proposed project. If so, a Relocation Assistance Plan pursuant to Section VIII of these Development Guidelines must also be submitted for approval by the CRA Board of Commissioners.

6. A plan for replacement of the occupied and vacant Residential Hotel Units by at least a like number of units of a bedroom composition that meets HUD standards for the number of persons accounted for in each occupied Residential Hotel Unit, and in the case of vacant units, the same bedroom composition of the unit;

7. The proposed location of Replacement Units if replacement is provided off-site pursuant to Section VII.B of these Development Guidelines, and verification that the applicant has site control of the proposed location;

8. If replacement is proposed through the purchase of affordability covenants pursuant to Section VII.C of these Development Guidelines, a description of the proposed property, including but not limited to, the location of the property, number of existing units, bedroom composition, whether the property is vacant or occupied, existing rent levels, whether affordability covenants currently exist on that property, and if so, the nature and duration of those covenants.

9. The name of the entity contracted with to develop the Replacement Units, a summary of the composition and funding proposed for the project, and an evaluation of the likelihood and anticipated date by which the applicant will receive such funding;

10. If an in-lieu fee is proposed pursuant to Section VII.D of these Development Guidelines, the calculation and amount of the proposed in-lieu fee;

11. The manner and timing in which the Replacement Units will be replaced;

12. An explanation of any inconsistencies between the number of Replacement Units and affordability levels provided for in the Replacement Housing Plan and the inventories attached to these Development Guidelines as Attachments A and B; and

13. If the Residential Hotel Unit(s) are to be Demolished, Converted or rehabilitated by the CRA or any other person or entity as a result of a CRA Assisted Project, such additional information or requirements as may be required by applicable local, state or federal laws and regulations governing replacement housing obligations of a public or private entity.

Section VI. REPLACEMENT UNIT REQUIREMENTS.

In the case of a proposed Demolition, Conversion, or replacement requirement pursuant to Section V.C of these Development Guidelines, of an existing Residential Hotel Unit(s) the following Replacement Unit requirements shall apply:

A. One-for-One Replacement. The number of Replacement Units required to be constructed, or otherwise produced pursuant to one of the methods set forth in Section VII of these Development Guidelines if replaced by a private owner, shall be equal to the number of Residential Hotel Units, occupied or unoccupied, in the Residential Hotel as reflected in Attachment A to these Development Guidelines. The only allowances to this one-for-one replacement requirement are those set forth in Section V of these Development Guidelines.

B. Type of Replacement Units. All Replacement Units shall be rental units with Affordable Rents and shall comply with the following requirements:

1. **Size of Units.** The Replacement Units shall include a bedroom composition that meets HUD standards for the number of persons accounted for in each occupied Residential Hotel Unit, and in the case of vacant units, the same bedroom composition as the Residential Hotel Unit. The Replacement Units may include the addition of bathrooms and/or kitchenettes.

2. **Code Compliance.** All replacement housing units shall be constructed subject to the zoning and other codes of the City of Los Angeles and the applicable Redevelopment Plan. Replacement Units shall be decent, safe and sanitary and shall meet appropriate occupancy standards in terms of the number of persons to be housed in such units.

3. **New Construction or Rehabilitation of Replacement Units.** Replacement may mean new construction or rehabilitation of existing units. However, rehabilitated units may only qualify as Replacement Units if the units are not included on Attachment A to these Development Guidelines.

C. Affordability Levels. Each Replacement Unit(s) shall be made available at the Affordable Rent level applicable to that unit pursuant to the definition of Affordable Rent set forth in Section III of these Design Guidelines, and shall be maintained, operated and, with the exception of temporary vacancies, shall be occupied by, a household with an income level that is at or below that Affordable Rent level. For example, a Replacement Unit with a rent level that is affordable to a very low income household must be occupied by a household with a very low or extremely low income, but not by a household with a

low income. Residential Hotel Units that are vacant on the date the permit application is submitted for which no information on income of prior tenants or prior rent levels is available shall be replaced at the average rent of the applicable Residential Hotel according to Attachment B to these Development Guidelines.

D. Affordability Covenants. All Replacement Units shall remain available at the applicable Affordable Rent level, and with the exception of temporary vacancies, shall be occupied by, households with incomes at or below that Affordable Rent level , for the longest feasible time as defined in Health & Safety Code §33334.3, but not for fewer than 55 years. To ensure such long-term affordability, covenants of affordability that run with the land shall be recorded with the County of Los Angeles Recorder's office for all Replacement Units, pursuant to Health & Safety Code §33334.3, and a copy of the recorded covenants shall be provided to the CRA within thirty (30) days of the date of recording.

E. Location of Replacement Units. The CRA shall make every effort to ensure that any and all Replacement Units shall be located within the City Center and Central Industrial Project Areas. In this Section "every effort" means a determination made by the CRA Board only after a duly noticed public meeting that provides a full opportunity for public comment. If the CRA, after following this procedure, cannot locate the units in the City Center and Central Industrial Project Areas, the CRA may adopt or approve a Replacement Housing Plan that provides for Replacement Units to be located: (1) within the solid lines denoted on Map A attached to these Development Guidelines as Attachment C; or (2) for Replacement Units that are constructed for households with dependent children, within the boundaries of the dotted lines denoted on Map A (Attachment C), if the CRA Board first makes findings that the Replacement Units will serve households at the same or lower income levels as the Displaced Persons. The CRA will encourage all Replacement Units to be located within a reasonable distance from public transit and services to the fullest extent feasible.

F. Timing of Replacement.

2. Removal of Residential Hotel Units by Private Owner. Subject to the exceptions and restrictions set forth in this Section VI.F .2 of these Development Guidelines, all Replacement Units shall be completed not later than four years from the date of displacement of the Residential Hotel Occupants. The private owner also shall provide on a semiannual basis evidence of progress toward the completion of such Replacement Units. Evidence of progress may consist of evidence of site control of a replacement housing site, preparation and submittal of plans, permit applications, permit approvals, commitments for construction and permanent financing, construction contracts and like documents. In addition, the following exceptions and restrictions apply:

a. Prior Replacement. The Replacement Units shall be completed prior to the date any Residential Hotel Unit is removed unless (a) relocation benefits are provided to all Displaced Persons in the amount set forth in Section VIII.B of these Development Guidelines; or (b) the private owner posts security with the CRA sufficient to provide the lump sum relocation benefits required pursuant to Section VIII.B of these Development Guidelines; and (c) the private owner posts security with the CRA, in an amount determined by the CRA to be adequate to assure the construction of the Replacement Units.

b. Six Month Extension. Under exceptional circumstances and based on a finding by the CRA that the applicant is exercising all good faith efforts to comply with the replacement requirements of this Section VI of these Development Guidelines and to complete the Replacement Units within the four year period for replacement, the CRA may extend the delivery date of the Replacement Units by not more than six months. Exceptional circumstances mean circumstances beyond the developer's control, such as difficulty in obtaining financing, building or other permit approval, rezoning, variances or clear title.

c. Permit Review. When the Private Owner opts to complete their replacement requirement prior to removing any Residential Hotel Units, the CRA shall ensure that no permit is issued for Demolition, Conversion or permanent removal of the Residential Hotel Units until the Private Owner produces a Certificate of Occupancy for the Replacement Units and they are offered to the permanent residents of the subject Residential Hotel.

d. No Evictions. The applicant and/or owner of the Residential Hotel may not evict a Residential Hotel Occupant pursuant to Los Angeles Municipal Code Section 159.09 A (10) (demolition or permanent removal from the rental 'market) prior to approval and implementation of the Replacement Housing Plan required by Section IV.B of these Development Guidelines and prior to approval and compliance with the relocation requirements set forth in Section VIII of these Development Guidelines.

Section VII. METHODS FOR REPLACEMENT OF UNITS BY PRIVATE OWNER

Subject to approval by the CRA, after finding that the applicant has met all of the requirements of these Development Guidelines, a private owner that is not subject to an Agency Agreement and has not received Financial Assistance may meet the replacement housing obligations required by these Development Guidelines pursuant to one or more of the following methods:

B. Off-Site Replacement Units. Construct or cause to be constructed on another site that is located within the applicable boundaries of the map attached hereto as Exhibit C [Map A], a Replacement Unit(s) that is similar in size, services, and facilities as the removed unit(s), and in compliance with all federal, state and local codes for each of the total number of original units as set forth on Attachment A of these Development Guidelines, except as provided in Section V above.

D. Payment of an In-Lieu Fee. Pay an in-lieu fee to the CRA in an amount at least equal to 80 percent of the cost of construction of an equal number of Replacement Units plus the cost of site acquisition. The CRA shall determine the site acquisition cost based upon an independent appraisal of comparable sites located within the applicable boundaries of Map A attached hereto as Attachment C, subject to review and approval by the CRA, and shall determine the estimated cost of construction based on the industry standard. Any in-lieu fee paid pursuant to this Section VII.D shall be deposited into a CRA administered Residential Hotel Preservation Fund Account and shall be spent solely for the purpose of constructing the required Replacement Units or preserving Residential Hotels as Affordable Housing in the City Center and Central Industrial Redevelopment Project Areas.

In cases where the CRA approves an applicant's election to pay an in-lieu fee pursuant to

this Section VII.D, no permit to Convert or Demolish shall be approved until the applicant deposits the full amount of the in-lieu fee into the Los Angeles Residential Hotel Preservation Fund Account.

**APPENDIX G:
PERTINENT SECTIONS OF ORDINANCE 180,175**

The pertinent sections of Ordinance 180,175, amending the Los Angeles Municipal Code, are as follows:

SEC. 47.73. Definitions. Singular references also include plural and derivative uses of defined terms where capitalized.

A. Affordable Housing Project. Affordable Housing Project is a housing development project with a government-imposed regulatory agreement that has been recorded with the Los Angeles County Recorder, or which shall be recorded within six months of the Claim of Exemption filed pursuant to Section 47.77, guaranteeing that all of the residential units will be affordable to either lower income or very low income households for a period of at least 55 years, with at least ten percent of the units affordable to households with income no greater than 30 percent of Area Median Income, and no more than 25 percent of the units affordable only to households with income at 60 percent of Area Median Income. None of the units shall be affordable only to households with income greater than 60 percent of Area Median Income, as these terms are defined by the United States Department of Housing. "Lower income or very low income households" is defined in accordance with California Health and Safety Code Sections 50079.5 and 50105.

B. Affordable Housing Trust Fund. Affordable Housing Trust Fund is a fund established by Los Angeles Administrative Code Section 5.522.

C. CRA/LA. CRA/LA is the Community Redevelopment Agency of the City of Los Angeles.

D. Comparable Unit. Comparable Unit is a unit which is similar in size, services, rental amount and facilities to the Residential Unit proposed to be converted or demolished.

E. Conversion. Conversion is any action that converts any Residential Unit in a Residential Hotel through either: (1) a change of use to a commercial, industrial, or other non-residential use; (2) a change to a different residential use; (3) a change from a residential use to a transient or tourist guest use or occupancy; or (4) a conversion to a condominium, cooperative, or similar form of ownership.

I. Efficiency Dwelling Unit. Efficiency Dwelling Unit is defined in Section 12.03 of the Los Angeles Municipal Code.

J. GSD. GSD is the Department of General Services.

S. Residential Hotel. A Residential Hotel, as defined in accordance with California Health and Safety Code Section 50519, is any building containing six or more guest rooms or efficiency units, intended or designed to be used, or which are used, rented, or hired out, to be occupied, or which are occupied, for sleeping purposes by guests, and which is also the primary residence of those guests. The term Residential Hotel excludes any building containing six or more guest rooms or efficiency units, which is primarily used by transient guests who do not occupy units in that building as their primary residence.

T. Residential Unit. A Residential Unit is any guest room, light housekeeping room, efficiency unit, or dwelling unit in a Residential Hotel that was occupied as a primary residence on October 11, 2005. If a unit was vacant on October 11, 2005, a Residential Unit shall mean any guest room, light housekeeping room, efficiency unit, or dwelling unit in a Residential Hotel that, on the first day that the unit was subsequently occupied, was occupied as a primary residence.

SEC. 47.78. Application for Clearance.

The City shall not approve a Conversion or Demolition of a Residential Hotel, or any new development on the site of a Destroyed or Demolished Residential Hotel, until LAHD has approved an Application for Clearance filed by the Owner pursuant to this section.

A. If an Owner applies for a building permit for a Residential Hotel that constitutes a proposed Conversion or Demolition of the Residential Hotel, or is a new development on the site of a Destroyed or Demolished Residential Hotel, then the following procedures shall apply:

1. LADBS shall inform LAHD of the application for a building permit.
2. The Owner shall file an Application for Clearance with LAHD. Within 90 days after LAHD has deemed the application complete, LAHD shall either deny the application or determine the conditions for approval of the application.
3. LAHD shall make one of the following determinations when an Owner files a complete Application for Clearance:
 - (a) Deny an Application for Clearance if the applicant has violated the provisions of Subsection A of Section 47.82;
 - (b) Exempt the property from the provisions of this article if the Application for Clearance is for an Affordable Housing Project pursuant to the provisions of Section 47.74; or
 - (c) Determine the conditions for approval of an Application for Clearance pursuant to Section 47.79.
4. LAHD shall mail a copy of LAHD's letter of determination of an Application for Clearance to the Owner, the occupants of the Residential Hotel's units, and the applicable Council office.
5. The Owner and any Interested Party may appeal the conditions for approval of an Application for Clearance to the General Manager's Hearing Officer pursuant to the provisions of Section 47.84.
6. LAHD shall only approve the Application for Clearance if the Owner complies with the conditions determined by LAHD pursuant to this section or, if the conditions for approval are appealed, as determined pursuant to Section 47.84.

B. An Owner who files an Application for Clearance with LAHD and wants the option to pay a fee pursuant to the provisions of Subdivision 2 of Subsection A of Section 47.79 shall pay an application fee in the amount of \$2000 for each application. An Owner who files an Application for Clearance with LAHD and does not want the option to pay a fee pursuant to the provisions of Subdivision 2 of Subsection A of Section 47.79 shall pay an application fee in the amount of \$1108 for each application. The application fee shall pay for the City's cost of administering the application process.

C. The Application for Clearance shall contain the following information:

1. The legal and mailing address of the Residential Hotel;
2. The names and addresses of all Owners or operators of the Residential Hotel;
3. The names of all Tenants in the Residential Hotel;
4. The total number of units in the Residential Hotel and the current uses;
5. The current rental rates for the Residential Units; and
6. The length of each Tenant's tenancy in Residential Units affected by the Application for Clearance.

SEC. 47.79. Conditions for Approval of an Application for Clearance.

A. LAHD shall require an Owner to satisfy one of the following conditions for approval of an Application for Clearance:

1. Construct, for each Residential Unit to be Converted or Demolished, a Comparable Unit in the City of Los Angeles within a two-mile radius of the units to be Converted or Demolished.

(a) LAHD may authorize the construction of fewer units to replace the Residential Units to be Converted or Demolished if LAHD determines that the following three conditions are met:

- (i) The replacement units provide amenities, such as bathrooms and kitchens, not present in the units to be withdrawn;
- (ii) The needs of the current residents of the Residential Hotel would be served by the better amenities and larger units; and
- (iii) The reduction in the number of units would not significantly decrease the number of available Residential Units in the City.

(b) Where the Owner chooses to comply with the conditions for approval of an Application for Clearance pursuant to this subdivision, LAHD shall not approve the Application for Clearance until LADBS issues a certificate of occupancy for units constructed pursuant to this subdivision, except where CRA/LA has approved replacement units within four years of the date of Demolition of the Residential Hotel units pursuant to CRA/LA Development Guidelines and Controls for Residential Hotels in the City Center and Central Industrial Redevelopment Project Areas, so long as the guidelines are in full force and effect.

2. Pay to the City of Los Angeles a fee in an amount equal to 80 percent of the cost of construction of an equal number of comparable Residential Units plus 100 percent of site acquisition costs. GSD shall determine the fee amount based on an independent MAI certified appraisal reviewed by GSD. The applicant shall pay for the appraisal. The fee payments shall be placed in the Affordable Housing Trust Fund and be used for the Permanent Supportive Housing Program pursuant to Subsection B of this section. The funds deposited in the Affordable Housing Trust Fund for the Permanent Supportive Housing Program pursuant to the provisions of this subdivision may be used to create

replacement units. If the units to be Converted or Demolished are in the City Center or Central Industrial Redevelopment Project Area, the fee will be paid into the Affordable Housing Trust Fund to be used for the Permanent Supportive Housing Program in accordance with the CRA/LA's Guidelines and Controls for Residential Hotels in the City Center and Central Industrial Redevelopment Project Areas, for so long as the guidelines are in full force and effect.

B. The funds deposited in the Affordable Housing Trust Fund pursuant to the provisions of this article shall be used to provide capital funding for the development of permanent supportive housing projects pursuant to the City's Permanent Supportive Housing Program. At the end of the calendar year after the year in which funds are deposited in the Affordable Housing Trust Fund, any remaining funds that have not been committed through the Permanent Supportive Housing Program shall be available for the development of affordable housing projects funded through the Affordable Housing Trust Fund. Units developed with funds committed under the Affordable Housing Trust Fund pursuant to this subsection shall be restricted to households with incomes no greater than 35% of Area Median Income, as defined by the United States Department of Housing and Urban Development.

SEC. 47.80. Rights of Tenants.

A. **Relocation Assistance.** Tenants evicted from Residential Units pursuant to Section 151.09 A 13 of this code shall be entitled to relocation assistance pursuant to the provisions of Section 151.09 G.

B. **Right of First Refusal.** Within 60 days of the issuance of a certificate of occupancy for units constructed pursuant to Section 47.79 A 1, the Owner shall first offer to rent the units to Tenants who were evicted, pursuant to Section 151.09 A 13 of this Code, from the Residential Units that were the subject of the Application for Clearance.

C. **Tenancy.** If a Tenant takes possession of a unit pursuant to the provisions of Subsection B of this section, that unit shall be subject to the provisions of Chapter XV of this Code.

**APPENDIX H:
PERTINENT SECTIONS OF THE WIGGINS SETTLEMENT**

The pertinent sections of the Wiggins Settlement are as follows:

SECTION 1. DEFINITIONS

The terms used in this Agreement are defined as follows:

"Affordable Housing" as used in Section 4 of the Agreement; means housing that is affordable to Lower Income households at housing costs and rents as defined in Health & Safety Code §§50052.5 and 50053 and applicable State of California regulations.

"Affordable Rent" All Replacement Units proposed for rehabilitation or new construction at the site of a Residential Hotel or at another site must be available to Lower Income Households at an "Affordable Rent." "Affordable Rent" shall mean:

- (a) If the Residential Hotel Units are Demolished, Converted or rehabilitated by the CRA or any other person or entity as a result of a CRA Assisted Project, the lower of (i) the affordability level required by the Community Redevelopment Law (CRL); or (ii) the rent level of the unit(s) as set forth in Attachment B hereto [the 2006 survey by the CRA], adjusted annually by the CPI, provided however, that the rent and utilities for the unit may not exceed 30% of the AMI applicable to the family that occupies the unit, and in no event, will the rent and utilities for the Replacement Units exceed 30% of 60% of the AMI [for a household of one]; or
- (b) If the Residential Hotel Units are Demolished, Converted or rehabilitated by a private owner, rent shall be based on the rent level of the unit as set forth in Attachment B hereto, adjusted annually by the CPI, and in no event, will the rent and utilities for the Replacement Units exceed 30% of 60% of the AMI for a household of one.
- (c) In the event that Attachment B does not have information concerning the rental amount for a given residential hotel, and that information has not been added within six months of the effective date of settlement; that figure shall be deemed to be the rental amount derived from the average rent of the remainder of the residential hotels in the survey, adjusted annually by the CPI.

"Area Median Income ("AMI")" means the area median income for the Los Angeles Long Beach Metropolitan Statistical Area, as determined annually by The Department of Housing and Urban Development (HUD).

"Comparable Replacement Unit" means a unit to which a Displaced Person is referred pursuant to the relocation assistance provisions of Government Code § 7260, *et seq.*, and implementing regulations and any other applicable local, state or federal laws and regulations governing relocation assistance obligations of a public or private entity. "Referral," as used in this definition, means that a Displaced Person is offered an actual unit that is affordable and available to the Displaced Person.

"Converted" and derivatives thereof means the conversion of a Lower Income residential property, including a Residential Hotel/SRO, to either housing that is not affordable. to Lower Income persons or families or to a non-residential use.

"Development Guidelines" means the Development Guidelines and Controls for Residential Hotels in the City Center and Central Industrial Redevelopment Project Areas approved by the CRA pursuant to Section 522 of the City Center and Central Industrial Redevelopment Plans, a copy of which is attached hereto and incorporated herein as Attachment 1.

"Replacement Housing Plan" means a plan that is comparable to the plan referred to in California Health & Safety Code §33413.5 and any other applicable local, state or federal laws and regulations governing replacement housing obligations of a public or private entity.

"Replacement Unit" means a unit that is restored to the Affordable Housing market as a result of the provisions of Sections 2.A, 2.B, or 2.C of this Agreement.

"Residential Hotel/SRO" ("Residential Hotel") Any building containing six or more guest rooms or efficiency units primarily intended or designed to be used, or which are used, rented or hired out to be occupied, or which are occupied, for sleeping purposes, and dwelling purposes by guests, meeting the definition of "Residential Hotel Occupant," which is the primary residence of those guests, whether rent is paid in money, goods, or services. All hotels meeting the definition above within one year prior to the adoption of the Development Guidelines are considered to be Residential Hotel/SRO. It does not include any jail, health facilities as defined by Section 1250 of the Health and Safety Code, asylum, sanitarium, orphanage, prison convent, rectory, residential care facility for the elderly as defined in Section 1569.2 of the Health and Safety Code, residential facilities as defined in Section 1502 of the Health and Safety Code or other institution in which human beings are housed or detained under legal restraint. For the purposes of this Settlement Agreement and the Development Guidelines, an inventory of Residential Hotels meeting this definition is attached hereto and incorporated herein as Attachment 2A.

"Residential Hotel/SRO Unit" means a guestroom or efficiency unit of a Residential Hotel/SRO.

"Residential Hotel/SRO Unit Occupant" means a household residing in a Residential Hotel/SRO Unit who uses that Residential Hotel/SRO Unit as their primary residence. Relevant criteria to demonstrate that a Residential Hotel/SRO Unit is the primary residence of a Residential Hotel/SRO Unit Occupant may include rent receipts, landlord rent logs, bills or other mail addressed to the resident, and/or such other documentation or certification that reasonably demonstrates that the Residential Hotel/SRO Unit is the primary residence of the Residential Hotel/SRO Unit Occupant.

SECTION 2. REPLACEMENT OF DWELLING UNITS

CRA agrees to apply the provisions of this Section 2 to the Project Area, provided the Development Guidelines, Attachment 1 hereto, have been duly considered and adopted by the CRA Board after due notice, a public meeting and consideration by the CRA Board.

A. Preservation And Replacement Of Residential Hotel/SRO Units

2. Residential Hotel/SRO Units Removed By Private Owner, Not Subject to Agency Agreement or Financial Assistance. In the event a current or future private owner of any of the Residential Hotels listed on Attachment 2A hereto demolishes, Converts, or otherwise causes the removal of a unit(s) currently located at such Residential Hotel, the CRA shall prepare or cause to be prepared a Replacement Housing Plan for such Residential Hotel unit(s) that complies with Section IV.B of the Development Guidelines, provided however, that the Replacement Housing Plan also shall provide for:

a. Replacement Prior to Removal. Notwithstanding the provisions of subsection 2.A.2.b of this Agreement, unless relocation assistance benefits are provided to all Displaced Residential Hotel/Unit Occupants in the amount set forth in Section 3.B of this Agreement, the Replacement Unit(s) shall be completed prior to the date any Residential Hotel/SRO unit(s) is removed.

b. Replacement Within Four Years. Absent an extension of up to six months pursuant to Section VI.F.2 of the Development Guidelines, the Replacement Unit(s) shall be completed not later than four years from the date of displacement.

c. Methods for Replacement. Subject to approval by the CRA pursuant to Section VII of the Development Guidelines, a private owner may meet its replacement housing obligation, by: (1) constructing the Replacement Unit(s) on the same site as the Residential Hotel to be Demolished or Converted; (2) constructing or causing the construction of the Replacement Units on another site; (3) purchasing affordability covenants on existing units that have rents that are affordable only to households with incomes at or above 80% of the AMI; or (4) paying an in-lieu fee to the CRA that is at least equal to the cost of land acquisition plus eighty percent of the cost of constructing the Replacement Unit(s). The CRA shall use the in-lieu fee to construct the Replacement Units within not more than four years from the date of displacement.

d. Long Term Affordability of Replacement Unit(s) The CRA will ensure that the Replacement Unit(s) are affordable to, and occupied by, household(s) with incomes that are at or below the affordability level applicable to the Replacement Unit(s) pursuant to Section 2.C.3 of this Agreement. The affordability level of the Replacement Unit(s) will be the rent level in effect at the time of this Agreement, as set forth in Attachment 3 hereto [the CRA's 2006 survey], adjusted annually by the CPI. In no event shall the rent and utilities for the Replacement Units exceed 30% of 60% of the AMI for a household of one.

e. Right of First Refusal for Displaced Persons. Any Displaced Residential Hotel/SRO Occupant shall have a right of first refusal for admission to a Replacement Unit *as* set forth in Section 2.C.2 of this Agreement.

f. Permits for Demolition, Conversion or Removal. The CRA shall not issue or approve any permits for the demolition, conversion or removal of any Residential Hotel/SRO Unit listed on Attachment 2A hereto prior to CRA approval and/or adoption of the Replacement Housing Plan.

g. Replacement by Owner. With the exception of its receipt of an in-lieu fee from a private owner pursuant to Section 2.A.2.c of this Agreement, nothing in this Section shall be construed to require the CRA to produce the Replacement Units required under this Section 2.A.2 of the Agreement.

3. Additional Restrictions On Removal of Residential Hotel/SRO Units. In addition to the provisions of Section 2.A of this Agreement, the provisions of Sections 2.C and 3 of this Agreement also shall apply to the removal of Residential Hotel/SRO Units.

4. Notification of CRA Board. Regardless of any exemption in the Development Guidelines, the CRA shall notify the CRA Board of any proposed projects reducing the number of Residential Hotel Units prior to permit sign off.

B. Replacement Of Other Project Area Dwellings Housing Lower Income Households.

2. Removal by Private Owner Without CRA Assistance. If any Project Area dwelling units housing Lower Income Households, as set forth on Attachment 2B hereto, are Demolished, Converted or otherwise removed by the owner without CRA Assistance, the CRA will require the owner to comply with the provisions of Sections 2.A.2, 2.C and 3.B of this Agreement, provided that the CRA finds that: (a) it is necessary to mitigate any adverse impact on persons displaced by reason of a private owner's withdrawal from rent or lease of dwellings housing Lower Income households in the Project Area; and (b) that imposition of such restrictions is permitted by law.

C. Additional Restrictions Regarding Replacement Of Dwellings.

1. Location of Replacement Units. The CRA shall make every effort to ensure that any and all Replacement Units shall be located within the City Center and Central Industrial Project Areas. In this section "every effort" means a determination made by the CRA Board only after a duly noticed public meeting that provides a full opportunity for public comment, and written notice to Plaintiffs or their designated representative(s) of not less than ten (10) days prior to such public meeting. If the CRA, after following this procedure, cannot locate the units in the City Center and Central Industrial Project Areas, then:

a.. The CRA may adopt or approve a Replacement Housing Plan that provides for the Residential Hotel/SRO Replacement Units to be located: (i) within the solid lines denoted on Map A attached hereto as Attachment 4; or (ii) for Residential Hotel/SRO Replacement Units that are

constructed for households with dependent children, within the boundaries of the dotted lines denoted on Map A (Attachment 4), if the CRA Board first makes findings that the Replacement Units will serve households at the same or lower income levels as the Displaced Residential Hotel/ SRO Occupant(s).

b. The CRA may adopt or approve a Replacement Housing Plan that provides for all other Replacement Units to be located within any of the boundaries of Map A attached hereto as Attachment 4 pursuant to the terms set forth in the Development Guidelines, and provided that the CRA Board first makes findings that the Replacement Units will serve households at the same or lower income levels as the Displaced Person(s). The CRA recognizes that it is highly desirable that the Replacement Unit(s) be located near public transit and services, and will make every effort to ensure that Replacement Units are within a reasonable distance from public transit and services.

3. Length of Affordability; Legal Requirements. In order to count towards the requirements of this Agreement, all Replacement Units shall remain available to, and, with the exception of temporary vacancies, shall be occupied by, households with incomes at or below the affordability level applicable to such Replacement Unit(s) pursuant to Sections 2.A.1.b or 2.A.2.d of this Agreement, as applicable, for the longest feasible time as defined in Health & Safety Code § 33334.3, but not for fewer than 55 years. To sure such long-term affordability, the CRA shall ensure that covenants of affordability that run with the land are recorded with the County of Los Angeles Recorder's office for all Replacement Units, pursuant to Health & Safety Code §33334.3, and the CRA shall monitor the Replacement Units to ensure affordability pursuant to Health & Safety Code§ 33418. The CRA shall provide a copy of the recorded covenants to Plaintiffs' Counsel within thirty (30) days of the date of receipt by the CRA.

5. Type and Size of Replacement Units. In order to count as a Replacement Unit, the type and size of Replacement Units must comply with the provisions of Sections IV .B and VI.B. of the Development Guidelines.